



WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held at the Civic Offices, Shute End, Wokingham, RG40 1BN on **WEDNESDAY 1 MARCH 2017 AT 7.00 PM**

A handwritten signature in black ink, appearing to read 'Andy Couldrick'.

Andy Couldrick
Chief Executive
Published on 21 February 2017

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WOKINGHAM BOROUGH COUNCIL

Our Vision

A great place to live, an even better place to do business

Our Priorities

Improve educational attainment and focus on every child achieving their potential

Invest in regenerating towns and villages, support social and economic prosperity, whilst encouraging business growth

Ensure strong sustainable communities that are vibrant and supported by well designed development

Tackle traffic congestion in specific areas of the Borough

Improve the customer experience when accessing Council services

The Underpinning Principles

Offer excellent value for your Council Tax

Provide affordable homes

Look after the vulnerable

Improve health, wellbeing and quality of life

Maintain and improve the waste collection, recycling and fuel efficiency

Deliver quality in all that we do

MEMBERSHIP OF THE PLANNING COMMITTEE

Councillors

Tim Holton (Chairman)	John Kaiser (Vice-Chairman)	Chris Bowring
Michael Firmager	Philip Houldsworth	Malcolm Richards
Rachelle Shepherd-DuBey	Wayne Smith	Bill Soane

ITEM NO.	WARD	SUBJECT	PAGE NO.
99.		APOLOGIES To receive any apologies for absence.	
100.		MINUTES OF PREVIOUS MEETING To confirm the Minutes of the Meeting held on 1 February 2017.	5 - 14
101.		DECLARATION OF INTEREST To receive any declaration of interest	
102.		APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
103.	Maiden Erlegh	APPLICATION NO - 170031 - ALDRYNGTON PRIMARY SCHOOL, EARLEY, RG6 7HR Recommendation: Approval	15 - 54
104.	Shinfield South	APPLICATION NO - 162829 - PLOT TO NORTH OF CHURCH LANE, THREE MILE CROSS Recommendation: Approval	55 - 90
105.	Finchampstead South	APPLICATION NO - 163385 - LONGMOOR LAKE, CALIFORNIA COUNTRY PARK Recommendation: Approval	91 - 110
106.	Barkham	APPLICATION NO - 162321 - LAND TO THE NORTH OF WOOD LANE, BARKHAM, RG41 4TS Recommendation: Approval	111 - 128
107.	Maiden Erlegh	APPLICATION NO - 163315 - ENGINEERING BUILDING, WHITEKNIGHTS CAMPUS, READING UNIVERSITY Recommendation: Approval	129 - 156

Any other items which the Chairman decides are urgent

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

GLOSSARY OF TERMS

The following abbreviations were used in the above Index and in reports.

C/A	Conditional Approval (grant planning permission)
CIL	Community Infrastructure Levy
R	Refuse (planning permission)
LB	(application for) Listed Building Consent
S106	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
F	(application for) Full Planning Permission
MU	Members' Update circulated at the meeting
RM	Reserved Matters not approved when Outline Permission previously granted
VAR	Variation of a condition/conditions attached to a previous approval
PS	Performance Statistic Code for the Planning Application
Category	

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**MINUTES OF A MEETING OF THE
PLANNING COMMITTEE
HELD ON 1 FEBRUARY 2017 AT 7.00 - 9.45 PM**

Committee Members Present

Councillors: Tim Holton (Chairman), Chris Bowring, John Kaiser, Malcolm Richards, Rachelle Shepherd-DuBey, Wayne Smith and Bill Soane

Other Councillors Present

Councillors: Bob Pitts, Ken Miall and Gary Cowan

Officers Present

Connor Corrigan, Chris Easton, Justin Turvey and Arabella Yandle

84. ELECTION OF VICE-CHAIRMAN

Councillor John Kaiser was duly elected as Vice Chair of the Planning Committee.

Councillor Tim Holton, Chair of the Planning Committee, extended his thanks to Former Councillor Chris Singleton, outgoing Vice Chair, for all his hard work on the Planning Committee

85. APOLOGIES

An apology for absence was submitted from Councillor Philip Houldsworth

86. MINUTES OF PREVIOUS MEETING

An amendment was made to the Minutes of the Committee held on 7 December 2016, namely that Lyndsay Jennings, Solicitor, attended the meeting.

The Minutes of the meeting of the Committee held on 7 December 2016, together with the amendment as outlined above, were confirmed as a correct record and signed by the Chairman.

MEMBERS' UPDATE

There are a number of references to the Members' Update within these minutes.

The Members' Update was circulated to all present prior to the meeting. A copy is attached.

87. DECLARATION OF INTEREST

Councillor John Kaiser declared a personal interest in Item 92 on the agenda, Application number 163115, The Firs, Parkcorner Lane, on the grounds that he knew the applicant. He stayed in the room, but did not take part in the discussion or vote on this item.

88. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS

There were no items deferred or withdrawn

89. APPLICATION NO - 162881 - ARBORFIELD GARRISON

Proposal: Full application for temporary planning permission for the use of land for filming, incorporating temporary change of use of existing former barracks buildings from Use Class Sui Generis to Use Class B1, and the use of the site and hard standing for parking and storage, with associated access

Applicant: Crest Nicholson Operations Limited C/O Savills

The Committee received and reviewed a report about this application, set out in Agenda pages 9 to 38.

The Committee were advised that the Members' Update included:

- Clarification of responses from both Arborfield & Newland Parish Council and Barkham Parish Council;
- An additional neighbour comment;
- A re-wording of Condition 2 relating to the effect of the use of the site on surrounding properties, and
- A re-wording of Condition 9, to wit that no operation should commence until external lighting schemes had been submitted and approved in writing.

Ken Hann, a resident of the ward, stated that he was happy with the build proposed but had concerns in regards to: the speed of the access roads; the working hours of some of the stages, and the parking and access. In particular, he questioned the proposed design of the entrance to the site and whether it took account of current road use, and whether the 40 mph limit on Langley Common Road should be changed to 30 mph along the entire road. He asked for clarification on whether a proposed Traffic Order reducing the speed to 30 mph could be part of the application in front of the Committee as the Council had not identified it as suitable for a 30mph limit in its current form even though it was identified as a walking route to the Bohunt School.

Chris Tinker, Agent for Crest Nicholson, the developers, led Members through a presentation, comparing the site to an existing Film Studio at Longcross and outlining the benefits to the community in terms of employment and income. He stated that the site would be actively staffed and managed and that the traffic flow would be less than that of its previous use.

The Service Manager for Highways Development Management stated that there had been no restriction in regards to access on the military base and that an independent Road Safety Audit had been carried out and found no issue with the proposal. He highlighted that the visibility was to be improved by some removal of vegetation and that that a 30 mph speed limit reduction would be considered for this section of the road alongside the detailed design work of the Langley Common Road and Biggs Lane roundabout improvements which formed part of the wider Arborfield SDL transport mitigation measures. He advised that the 30mph speed limit reduction was not necessary for this application currently being considered by committee. He also indicated that the anticipated number of vehicle movements would not be unusual for this type of road and that as the working day did not fit a standard pattern, there would not be an overall peak travel time issue.

In answer to Members' questions about the length of tenure and its impact on the Borough housing targets, the Case Officer stated that, if the company wanted to extend their length of tenure by even one year beyond the nine laid out in the application, they would need to submit a further application. The Strategic Delivery Manager went on to state that the site in question was currently due to be developed into housing in the final phase of the Arborfield development. He explained that there was always a degree of slippage in building projects but that any shortfall would be more than made up for by other developments in the Borough. The site has extant permission but this area would require a new reserved matters application to be made prior to construction of housing.

In response to a Member's question about employment opportunities, Chris Tinker explained that, as a highly unionised industry, there were unlikely to be many career opportunities for local young people as actors but that there would be opportunities in the support sector and associated careers.

In response to a Member question regarding safe walking routes to Bohunt School, the Service Manager for Highways Development Management indicated that, the 30mph speed limit reduction would be reviewed under a separate scheme as mentioned earlier, and that as the only existing footpath was on the opposite side of the road to the site access junction, potential conflict between users was not consider to be an issue.

In response to a Member question about sound and its impact on neighbours, the Strategic Delivery Manager indicated that most of the activity on site would be indoors and that, outside, set-building would take place during normal working hours.

Resolved: That application No. 162881 be approved subject to the conditions set out in Agenda pages 9 to 38, and the amendments to conditions 2 and 9 as laid out in the Members' Update.

90. APPLICATION NO - 163444 - 52 READING ROAD, WOKINGHAM, RG41 5NE

Proposal: Full application for the proposed erection of supported affordable housing consisting of 7no bedsitting rooms, 2no single person flats and supported ancillary accommodation, car parking, motor cycle parking, covered cycle storage and garden following demolition of existing building.

Applicant: Wokingham Housing Ltd

The Committee received and reviewed a report about this application, set out in Agenda pages 39 to 64.

The Committee were advised that the Members' Update included:

- Proposed amendment to condition 3;
- Proposed additional condition regarding operating hours during building work;
- Comments from Councillor Mirfin in support of the application, and
- Additional comments from neighbouring residents in objection to the application.

Simon Price, Head of Housing, spoke in favour of the application, stating that the application would provide much needed affordable accommodation for young people, which was a priority for strategy in the Borough. Darren Toes, Wokingham Housing Ltd, went on to outline some of the features of the new build. He explained that the existing building would be demolished and that the new building, whilst being built in a different architectural style to other houses in the area because of its location, was being designed to fit in with the surrounding houses in choice of materials and gable ends. The new building would be a similar height to the existing building and would have a footprint only 5% larger.

Members indicated that they were in support of such a build and that a good effort had been made by the designers to fit in with the vernacular style, but were concerned about noise and parking. In response, the Service Manager for Highways Development Management stated that the condition relating to construction method covered noise. He

went on to explain that, as the application was classed Sui Generis, ie that its use did not fit into any other user class, that any future uses which might require an increase in parking levels would require a completely new planning application. Therefore the parking is deemed adequate for the current proposed scheme and has been design to enable on site turning for all vehicles as well as access to motorcycle and bicycle parking within the site.

Resolved: That application no 163444 be approved subject to the conditions set out in Agenda pages 39 to 64 with condition amended and the additional condition as set out in the Members' Update.

91. APPLICATION NO - 163369 - BEECHWOOD PRIMARY SCHOOL, AMBLESIDE CLOSE, RG5 4JJ

Proposal: Full application for the proposed erection of 3 single storey classroom extensions, extension to existing staffroom, erection of new security fencing and gates, new pathways, access door and alteration to parking layout.

Applicant: Wokingham Borough Council

The Committee received and reviewed a report about this application, set out in Agenda pages 65 to 88.

The Committee were advised that the Members' Update included:

- Amendment to paragraph 8, page 72, to whit that the increase in student numbers would be 15 per annum, not 30 as published;
- Summary table with current and proposed staffing levels;
- Proposed minor correction to condition 10, and
- Proposed additional condition regarding operating hours during building work.

Anju Sharma, Schools Programme Manager, spoke in favour of the application, explaining that the Council had a duty to ensure adequate school provision and that infill builds were part of the approved strategies. She stated that Woodley had been identified as requiring 45 extra places per year and that Beechwood had been chosen due to its current design, location, site area and the housing developments going on around it. She went on to explain that the expansion had been designed in partnership with the Council and that there were future plans to expand the school further to a two form entry (60 pupils per year) which would allow for efficient staffing and planning.

In response to a Member question, the Service Manager for Highways Development Management stated that there would be an increase of 4 additional staff, 3 full-time and one part-time, and that one extra parking space had been included in the design per full-time equivalent (FTE) staff member. He explained that this provision was in line with the Council's adopted parking standards and that the scheme also secured an updated travel plan, as well as improvements to both cycle parking and scooter parking.

In response to Member questions, the Case Officer indicated that construction work would commence in the summer to be ready for September and that a condition had been attached to the Construction Management Plan outlining hours of delivery. She stated that the school travel plan would be updated by September and that the parking and cycle/scooter places would be ready for then. Over the summer, construction traffic would be asked to park on site.

Resolved: That application no 163369 be approved subject to the conditions set out in Agenda pages 65 to 88 and the amendments and proposed condition as set out in the Members' Update.

92. APPLICATION NO - 163115 - THE FIRS, PARKCORNER LANE, CARTERS HILL, ARBORFIELD, RG2 9JJ

Proposal: Householder application for the proposed replacement of existing roof lights with dormer window extensions and the erection of a raised terrace to the south- west corner of the building at first floor level

Applicant: Mr & Mrs M Yardley

Councillor John Kaiser declared a personal interest and did not take part in the discussion or vote on this item.

The Committee received and reviewed a report about this application, set out in Agenda pages 89 to 110.

Members had visited the site on Friday 27 January 2017.

Patrick Haran, Planning Agent, spoke in favour of the application, citing CP11 as the relevant policy, which supported small scale extensions to buildings in the countryside. He stated that the proposed extension would result in a 12.5% increase to the footprint but no increase in overall height, and that the current use for the 1st floor was as accommodation so that no change of use was involved. The expectation was that the flat would revert to an elderly relative and the installation of dormer windows and a terrace would increase manoeuvrability, with the impact limited by the substantial boundary screening. He stated that there was no objection from either the Parish Council or neighbours.

Councillor Gary Cowan, Ward Member, spoke in favour of the application, indicating that the property was on an un-adopted road and did not overlook anyone. He stated that alterations to other properties in the area had been approved. In relation to the citing of CP11, he suggested that the build would not cause harm and that the terrace sat comfortably within the Council's own guidelines. The Council recognised the need for families to support elderly relatives and this build would fit with that need.

The Case Officer cited CP11, stating that the proposal was an example of excessive encroachment, that it was inappropriate in scale and appearance and that, as such, it would cause significant harm. The information about the proposed occupancy by an elderly relative had not been cited in the application in justification.

In answer to Members' questions relating to the likelihood of an appeal if refused, the Case Officer pointed out that the application site does not benefit from permitted development rights for further extensions and additions and therefore planning permission is required for the proposed alterations. Whilst there was some leniency for properties in the countryside, the proposed extension would in effect convert an outbuilding into a home. She also stated that a plan did not have to take into account who was living there.

The Committee were reminded that, just because a building could not be seen, there was still a need to be mindful of the impact of a building.

The recommendation put to the Committee to refuse the application, when put to the vote, was not supported. As a result, an alternative proposal was received from Councillor Wayne Smith to approve the application for the reason that the planned extension would not cause significant harm and that the increase in scale would not be inappropriate. This was seconded by Rachelle duBey

The following conditions were attached:

- The development should begin no later than three years from the date of the decision;
- The development would be carried out in accordance with the plans in Agenda pages 95 to 108;
- Materials used in the construction of the external surfaces would match those in the existing building, and
- The extended building would not be occupied at any time other than as ancillary to the residential use of the dwelling known as the Firs, Parkcorner Lane.

Resolved: That Application no 163115 be approved subject to the conditions set out above.

93. APPLICATION NO - 161845 - 134-146 LONDON ROAD, RUSCOMBE, RG10 9HA

Proposal: Full application for the erection of 31 two bedroom apartments with associated communal areas, landscaping and parking (C3 residential use)

Applicant: McCarthy & Stone

The Committee received and reviewed a report about this application, set out in Agenda pages 111 to 148.

The Committee were advised that the Members' Update included:

- Proposed change to condition 3, whereby Community Liaison details would be implemented during the construction unless otherwise agreed;
- Proposed changes to condition 4 relating to the Approved Scheme for Tree Protection;
- Proposed changes to paragraph 44, page 131 regarding the value of the CIL amount psqm;
- Further information regarding the number of trips generated in peak hours, and
- A note referring to additional comments that had been received.

Members had visited the site in 2015.

Mike Evans, Planning Chair for the Parish Council, spoke in opposition to the application, citing that the development went against the Village Design Statement in its location in an open/semi-rural stretch of London Road and raising concerns about the amount of carparking being put forward. He referred to the difference in the design and the fact that the increase in area given to concrete would add to the flooding risk. He stated that the village needed an influx of families, not down-sizers, and that, due to the fact that there were no amenities in Ruscombe and there were no bus stops, residents would be forced to walk if they were not able to have a car.

Ian Hann, agent, spoke on behalf of the applicant, stating that the flats would allow older people to live in a setting where they have their own space. He suggested that the majority of tenants would be 65-75 years old and that the site would be carefully managed by the applicant. He went on to outline the rise in the older population in the country, stating that the number of older residents in Wokingham was set to rise by 23% by 2036, with an increase in the number of families being headed up by someone of 65 or more. He added that the proposal met council targets and that it would potentially free-up other accommodation in the area.

Councillor Bob Pitts, Ward Member, spoke in opposition to the application. He disagreed with the agent, stating that it was unlikely that accommodation would become accessible to young families because of the cost of housing. He suggested that most over 55s would still be working and that the parking would be insufficient in light of the lack of public transport and amenities. He finally asked what the management charges and costs to the residents would be and stated that some clearance had already taken place.

The Case Officer stated that, whilst they considered the Village Design Statement and the comments received, the proposal did not present great conflict with it. The frontage of the proposed design was reflected in other properties on the London Road and a flood risk assessment had taken place and been accepted. He suggested that the character of the properties around was mixed and that as such the proposed build would not be out of character, stating that the site had already been allocated to housing. He explained that site clearance work did not have to be approved, and that extant pegging out had been related to the movement of lizards.

In response to Members' questions, the Case Officer stated that only one person in the household needed to be over 55. The Service Manager for Highways Development Management went on to explain that the car-parking would not be allocated to individual properties, which complies with the Council's parking standards and is often the way parking is managed on private sites such as retirement developments. A condition has been applied to the scheme to ensure that the unallocated parking is retained and not allocated to individual occupiers. He felt that the intended age range of the residents was pertinent to the management condition.

In answer to a Member's question regarding parking, the Case Officer stated that the parking met Council policy and that there was an extant outline scheme for 16 dwellings.

In response to a Member question regarding the entry points of three properties onto the road, the Service Manager for Highways Development indicated that similar junction formations and numbers had been previously considered and consented with an earlier application on this site and that they each met the visibility splay requirement and were deemed acceptable for this scheme.

In response to Members' questions regarding density, the Case Officer confirmed that the property would have a much higher density than other properties in the locality, but that this was implicit in the nature of flats.

Councillor John Kaiser proposed that the application be deferred to permit a site visit. This was dropped. It was then proposed by Councillor Tim Holton that the application be refused for the reason that the proposed application was out of character due to bulk, scale and mass plus failure to complete the legal agreement. This was seconded by Councillor Wayne Smith.

Resolved: That Application no 161845 be refused for the reasons set out above.

94. JOULDINGS LANE, SWALLOWFIELD

Proposal: To give permission to Hampshire County Council to determine the Definitive Map Modification Application on behalf of Wokingham Borough Council

Applicant: Hugh Craddock

The Committee received and reviewed a report about this application, set out in Agenda pages 155 to 160.

Resolved: that Hampshire County Council be given permission to determine the Definitive Map modification

95. FOOTPATH EARLEY 15 - 660 WOKINGHAM ROAD, EARLEY

Proposal: To modify a Diversion Order on Footpath Earley 15

Applicant: Wokingham Borough Council

The Committee received and reviewed a report about this application, set out in Agenda pages 161 to 166.

Councillor Ken Miall, Ward Member, spoke in opposition to the application, asking why the original footpath plan was not being enforced and, if the Highway rules were not to change on this stretch of path, why the Diversion Order was being submitted. He stated that there were issues with erosion on the path and that two people had fallen down the bank.

The Public Rights of Way Manager stated that there had been an error in the original S106 agreement and that the proposed width of 2.5 m would mean that the footpath agreed with the agreement. She went on to state that funding had been assigned to improve the slope of the path and that fencing would be installed along the top of the embankment. The path was to become part of a long distance route.

In response to a Member question, the Public Rights of Way Manager stated that to pursue the original plan would result in a high cost to the Council with the likelihood that the diversion in front of the Committee would be agreed anyway. The Borough Solicitor stated that the diversion in front of the Committee would give a common-law path legal status with all the protections that includes.

Resolved: That the modification to the Diversion Order be agreed

96. FOOTPATH WOKINGHAM 23 - TAN HOUSE CROSSING, WOKINGHAM

Proposal: to put a Railway Crossing Diversion Order on Footpath Wokingham 23

Applicant: Wokingham Borough Council

The Committee received and reviewed a report about this application, set out in Agenda pages 167 to 168.

Damian Haynus, Network Rail, spoke in favour of the application, outlining the risks associated with the current crossing and the particular issues such crossings had with

vulnerable users and unauthorised access, mostly children. He stated that if the crossing was reopened as is, the risk assessment gave that it would attract the third highest risk rating. He indicated that the temporary bridge had made a big difference to this rating.

In response to Member questions, Mr Haynus stated that the temporary bridge currently in place was frequently vandalised and as a result was a high cost stream. The intention was to change to a permanent bridge by 2019. A bridge would reduce the risk rating to the lowest rating. He also indicated that, whilst disabled access had not been part of the original crossing, any future permanent bridge structure project would consider the ability to deliver disabled access where possible.

The Service Manager for Highways Development Management stated that discussions had taken place with Network Rail with the potential to extend any new bridge from Carnival Pool to cross both railway lines. The Public Rights of Way Manager added that funding for the bridge was on the CIL list and that progress would occur as soon as possible.

Resolved: That the Railway Crossing Diversion Order be authorised.

97. QUARTERLY ENFORCEMENT MONITORING REPORT

Proposal: to review the quarterly Enforcement Report

The Committee received and reviewed the quarterly Enforcement Report outlined in page 5 of the Members' Update.

Resolved: That the quarterly Enforcement Report be noted

98. EXCLUSION OF THE PUBLIC

There were no items that required exclusion of the public

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Agenda Item 103.

Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
170031	6/13	Earley	Maiden Erlegh	Major & Council's own application

Applicant Location Wokingham Borough Council
Aldryngton Primary School, Silverdale Road, Earley **Postcode** RG6 7HR

Proposal Full application for the proposed demolition of external stores, swimming pool (including support facilities), temporary classrooms and part demolition of main building, followed by erection of two storey teaching block with hall. Erection of detached store adjacent to car park, provision of MUGA in playing field and associated works to landscaping and extension to car and cycle parking.

Type Major
PS Category 006
Officer Pooja Kumar

FOR CONSIDERATION BY Planning Committee on 1st March 2017
REPORT PREPARED BY Head of Development Management and Regulatory Services

SUMMARY

The application site is within a major development location in the settlement of Earley and to the north of the Silverdale Road parade of shops. The existing school is a 1960's single storey structure, located adjacent to Maiden Erlegh School. Both schools are accessed from an unnamed access road between the shopping parade.

The application is seeking full permission for the erection of a two storey teaching block, extension to the car parking at the front of the site, erection of detached store and the installation of a MUGA (multi-use games area) within the playing field of the school. The proposed works would also include the removal of the existing temporary classrooms, removal of swimming pool and associated equipment and the removal of an adventure playground to accommodate the MUGA.

The proposed development would facilitate the expansion of the school to provide new classrooms and a new school hall. Over a 7 year period the proposal would facilitate an increase in pupil numbers from 315 to 420 and increase the number of full time staff from 15 to 19 in line with the Council's Primary School Places Strategy approved by the Council's Executive on 28th January 2016.

With regards to other aspects, parking would be in accordance with the Council's adopted parking standards and no adverse impact on residential amenity would occur. There would be no harm in ecology terms and any impacts with regards to Environmental Health would be controlled through conditions. As such, the scheme is compliant with the development plan and the loss of the swimming pool, while unfortunate, is not considered to outweigh the educational benefits associated with other aspects of the proposal. Therefore, subject to the application not be 'called in' by the Secretary of State for determination the application is recommended for conditional approval.

PLANNING STATUS

- Major development location
- Sand and gravel extraction

RECOMMENDATION

That the committee resolve to consult the Secretary of State on the application and supporting papers in accordance with paragraphs 9 and 10 of the Town and Country Planning (Consultation) (England) Direction 2009; and grant Planning Permission provided i) the Secretary of State decides not to call in the application for determination; or ii) the period in which the Secretary of State may respond under paragraph 11 of the Town and Country Planning (Consultation) (England) Direction 2009 expires.

A. Conditions and informatives:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).
2. This permission is in respect of the submitted application plans and drawings numbered APS-ATK-DR-A(00)01 P1; APS-ATK-DR-A(00)02 P3; APS-ATK-DR-A(00)03 P1; APS-ATK-DR-A(00)04 P1; APS-ATK-DR-A(00)05 P1; APS-ATK-DR-A(00)06 P1; APS-ATK-DR-A(00)07 P1; APS-ATK-DR-A(10)01 P1; APS-ATK-DR-A(10)02 P1; APS-ATK-DR-A(10)03 P1; APS-ATK-DR-A(10)04 P1; APS-ATK-DR-A(10)05 P1; APS-ATK-DR-A(10)06 P1; APS-ATK-DR-A(10)07 P1; APS-ATK-DR-A(10)08 P1; Design & Access Statement; Drainage Statement; Nosie Assessment; Planning statement; Statement of Community Involvement; Arboricultural Report (SCD 04033/2016V2.0); Energy Statement; Transport Statement; Landscape Masterplan; Planting Strategy Diagram; Boundary Treatment Strategy and Tree Survey and Protection Plan received by the local planning authority on 7th January 2017. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.
Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.
3. Before any above ground works commence, samples and details of the materials to be used in the construction of the external surfaces of the building/s shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.
*Reason: To ensure that the external appearance of the building is satisfactory.
Relevant policy: Core Strategy policies CP1 and CP3*
4. No development shall commence until a Construction Management Plan has been submitted to the Local Planning Authority. The plan should detail items such as phasing of construction and demolition, access onto site, types of piling rig and earth moving machinery to be utilized, working hours, material and equipment delivery hours/plan, noise abatement, dust suppression and other measures proposed to mitigate the impact of construction operations. In addition

the plan should make note of any temporary lighting that will be used during the construction phase of the development. The plan shall be implemented in full and retained until the development has been constructed. Any deviation from this Statement shall be first agreed in writing with the Local Planning Authority.
Reason: To ensure disruption is minimised as much as possible during construction.

5. No development shall take place until full details of the drainage system for the site have been submitted to and approved in writing by the LPA. The details shall include:

- Results of intrusive ground investigation demonstrating seasonal high groundwater levels for the site and infiltration rates in accordance with BRE365.
- Demonstration that the base of SuDS features are at least 1m above seasonal groundwater level.
- Full calculations demonstrating the performance of soakaways or capacity of attenuation features to cater for 1 in 100 year flood event with a 40% allowance for climate change and runoff controlled at Greenfield rates, or better.
- Calculations demonstrating that there will be no flooding of pipes for events up to and including the 1 in 100 year flood event with a 40% allowance for climate change.
- A drainage strategy plan for the proposed development, including pipe details with invert levels.
- A maintenance arrangement for the SuDS features throughout the lifetime of the development.

Reason: To prevent increased flood risk from surface water run-off.

Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10

6. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the are. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

7. Prior to the commencement of the development, full details of both hard and soft landscape proposals shall be submitted to and approved in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage

units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development).

8. Prior to the commencement of the development hereby permitted details of secure and covered bicycle storage facilities for the occupants of [and visitors to] the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

9. No development shall take place, including any works of demolition, until a final Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) segregation of construction, deliveries and construction traffic from users of the site,
- iii) storage of plant and materials used in constructing the development,
- iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- v) wheel washing facilities,
- vi) measures to control the emission of dust and dirt during construction,
- vii) a scheme for recycling/disposing of waste resulting from demolition and construction works,
- viii) requirements of wheel washing/street sweeping.

Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.

10. No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking space has been provided in accordance with the approved plans. The vehicle parking space shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

11. Prior to the occupation of the extensions hereby approved a Travel Plan shall be submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so-approved.

Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.

12. No building shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 10 metres measured from the carriageway edge.

Reason: To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

13. No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

14. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no external lighting shall be installed on the site or affixed to any buildings on the site.

Reason: In the interests of amenity and highway safety. Relevant policy: Core Strategy policies CP1 and CP3

15. The MUGA (multi-use games area) hereby approved shall not be used outside of the hours of 8am to 7pm Monday to Friday, and between 9am and 4pm on Saturday, and shall not be used at all on Sundays, Public and Bank Holidays.

Reason: To safeguard the residential amenities. Relevant policy: Core Strategy policy CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

16. Prior to the use of the MUGA (multi-use games area) a Community Use Plan shall be submitted to, and approved in writing by the local planning authority. The Community Use Plan shall include details of how the MUGA hereby approved shall be made available for use by local community groups

Reason: To maintain a similar level of facilities on site for wider community groups. Relevant policy: Core Strategy policy CP2.

Informatives

1. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.
2. There is a Thames Water main crossing the development site which may/will need to be diverted at the Developer's cost, or necessitate amendments to the proposed development design so that the aforementioned main can be retained. Unrestricted access must be available at all times for maintenance and repair. Please contact Thames Water Developer Services, Contact Centre on Telephone No: 0800 009 3921 for further information.
3. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters' pipes. The developer should take account of this minimum pressure in the design of the proposed development.
4. The requisite Travel plan would need to comply with the latest national and local guidance:
 - 1) NPPF Section 4 (Sustainable Transport)
 - 2) The Essential Guide to Travel Planning (DfT, March 2008)
 - 3) Delivering Travel Plans Through the Planning Process (DfT, April 2009)
 - 4) A Guide on Travel Plans for Developers (DfT)
 - 5) Making Residential Travel Plans Work (DfT, June 2007) All accessible at:
<http://www.dft.gov.uk/pgr/sustainable/travelplans/>
<https://www.gov.uk/government/policies/improving-local-transport>Also:
WBC Transport Plan 3 and Active Travel Plan 2011 – 2026
WBC Workplace Travel Plan Guidance and Residential Travel Plan Guidance Documents, covering workplace travel plans and residential travel plans provide local guidance and are available on the Borough's website.
5. Should any bats or evidence of bats be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
6. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:
 - a pre-application process was undertaken by the applicant; and
 - additional information in respect of Traffic & Highways safety was provided by

the applicant;
 The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

PLANNING HISTORY

The site has an extensive planning history relating to various extensions at the school. None of the history is relevant to the current application.

SUMMARY INFORMATION

Site Area	1.2 hectares
Existing Pupils	315
Proposed Pupils	420 (over a period of 7 years)
Existing Staff	15 Full-time and 31 Part-time
Proposed Staff	19 Full-time and 35 Part-time
Existing parking spaces	20
Proposed parking spaces	32
Existing Cycle spaces	10
Proposed Cycle spaces	46

CONSULTATION RESPONSES

Thames Water	No objection subject to informatives (2 & 3)
SGN (Gas Network)	No objection
Sport England	Object
WBC Biodiversity	No objection subject to informative (5)
WBC Drainage	No objection subject to conditions (5)
WBC Education	No objection
WBC Environmental Health	No objection subject to conditions (4 & 14)
WBC Highways	No objection subject to conditions (8, 9, 10 , 11 & 12 and Informative 4))
WBC Tree & Landscape	No objection subject to conditions (6 & 7)
WBC Waste Services	No comments received

REPRESENTATIONS

Earley Town Council: Object on the basis that the proposals fail to address the inadequacies of the joint entry approach shared with Maiden Erlegh, pre-school, library and shops. Further detail should be provided on the increase in traffic from Tesco, lack of suitable parking available in the surrounding area and how the safety of pedestrians, school children and cyclists could be ensured.

Local Members: No comments received

Neighbours: 106 letters of objection on the following:

- Traffic & congestion in the local area;
- Insufficient and poor parking in local area by parents;
- Impact on highways safety in local area;
- Lack of details on the recent accident;
- Traffic details from Tesco cannot be considered;
- Insufficient access for Emergency vehicles;

- Inaccuracies within the Transport Survey data;
- Impact on traffic during construction period;
- Lack of road maintenance;
- Inadequate scooter and cycle parking;
- No investment in traffic/congestion management;
- Loss of swimming pool unjustified;
- Maiden Erlegh expanding sixth form;
- Loss of privacy and views;
- Overbearing and out of character size and scale of extension;
- No demand for additional spaces;
- Difficulty in hiring teachers;
- Impact on Quality of education;
- Impact on natural light to remaining building;
- Noise & disturbance;
- Poor consultation;
- Disruption to school activities during construction;
- Reduced external play area;
- Extension will attract people from outside of catchment area;
- Inadequate information to executive Committee in Jan 2016 in relation to expansion;
- Spatial Strategy and survey not used to inform school expansion; and
- Poor internal layout for school.

APPLICANTS POINTS

- The extensions are acceptable in respect of their size and scale, with most alterations not visible from outside of the site
- The proposal would provide additional space within the school to create school spaces for local residents
- The proposal would not harm the residential amenities of neighbouring properties

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design & Construction
	CC06	Noise
	CC07	Parking

	CC09	Development and Flood Risk
	CC10	Sustainable Drainage
	TB21	Landscape Character
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide

PLANNING ISSUES

Description of Development:

1. The scheme is for extensions at Aldryngton Primary School to provide additional classrooms, a new hall and a MUGA (multi-use games area) to facilitate the increase of students by 105 over a 7 year period. The increase in student numbers would be 15 per school calendar. The proposed extensions would allow for each year group to eventually have 2 form entry.
2. The extensions would comprise of a two storey rear extension to the existing main building, measuring 18.8 metres by 40 metres with a maximum height of 8.1 metres (above the new hall). To facilitate the new teaching block it would be necessary to remove the existing swimming pool and numerous storage sheds adjacent to the same. A new detached storage shed would be erected adjacent to the school entrance which would measure 10.3 metres by 6.6 metres with a height of 2.4 metres.
3. Additional parking would be provided within the existing area of parking. The existing temporary classrooms would be removed to the front of the site to accommodate 12 new parking spaces.

Principle of Development:

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
5. Paragraph 72 of the NPPF states that great importance should be attached to ensuring that sufficient choice of school places are available to meet the needs of existing and new communities. It also states that Local Planning Authorities should take a proactive, positive and collaborative approach to meeting this requirement, and should look to approve development that will widen choice in education. The NPPF states that weight should be given to the need to create, expand or alter schools.
6. The site is located within a major development location and within a settlement boundary and as such the development should be acceptable providing that it complies with the principles stated in the Core Strategy. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high quality design without detriment to the amenities of adjoining land uses and occupiers and this is discussed below.

7. Given the national and local policy context, it is considered that the proposal would be acceptable subject to the assessment of other material considerations. These include no adverse impact on character of the area, the retention of suitable play space, and no adverse impacts on traffic, highways safety, neighbouring amenity, biodiversity, or sustainability.

Education background:

8. On 28th January 2016 Executive approved the Primary Strategy 2016 to 2019 and the Primary Strategy Implementation Plan Phase 1. This authorised the development of schemes for the expansion of Aldryngton, Loddon, Beechwood and Highwood primary schools and for the opening of a new school in Shinfield.
9. The purpose of the Primary Strategy is to ensure there are sufficient primary school places to meet need in identified priority areas. There is an estimated need in Earley for 15 additional primary school places per year (in addition to the 30 places being created at Loddon Primary School) from 2017. In April 2016, 13 children living in the catchment area could not be offered a place at Aldryngton (and 3 children living outside the designated area with older siblings attending the school also could not be offered a place there).
10. In the case for the Aldryngton the applicant acknowledges future demand is less certain than at other schools, being based on continued demographic change led by the replacement of older households with younger families. If the view is taken that the places are not required when admissions are assessed in March 2017, then the scheme will not be implemented this year. Planning consent, if granted can be commenced within three years, so if demand does rise in a subsequent year, the scheme can be implemented at that stage.
11. A study by ERM architects (the ERM report) put the Loddon and Radstock sites as preferred and reserve sites respectively, above the Aldryngton site and some objectors have commented that the application before us ignores the findings of this report. The ERM study was an initial architectural study which has not been submitted with the planning application as it did not identify where the need for school places is required within the area. The applicant has advised that the options identified for Radstock Primary School would provide a surplus of spaces and would require the creation of mixed age classes; therefore Aldryngton was chosen for expansion as it was the more practical location for an increase of school places. In summary, the study was based on architectural considerations as opposed to the locational need for school places.

Character of the Area:

12. The existing building is a single storey brick built building with a flat roof. The school was built in the 1960's and has had various alterations and extensions, including the erection of temporary classrooms to the front of the site which have been retained as permanent classrooms with permission in 1998. The playing field is located to the rear (south) of the school building and the site's boundaries are well landscaped with mature trees.
13. The school is located in a predominantly residential area of Earley, however the

immediate area around the site comprises of a mix of uses including retail and residential use.

14. Although the original building is single storey in height it is considered that the two storey extension would not harm the character of the original building (which is of little architectural value) and buildings in the vicinity such as Maiden Erlegh school and the mixed retail and residential uses in the parade are two and three storeys in height, respectively.
15. The proposed extension would be considered appropriate in respect of size and scale. The height of the hall would be approximately 8.1 metres with projecting ventilation stacks, and the height of the teaching block would be 7.06 metres to eaves level with a flat roof. The hall is taller than the teaching block as it is required to be of a minimum internal height as per Sport England's guidance.
16. The proposed teaching block would be 5.3 metres higher than the existing school building and would be located at a distance of 28 metres from the common boundary with no.13 Lancaster Gardens, which is the closest residential boundary to the proposed extension. The siting of the block is considered functional and sympathetic within its context, linking centrally to the original building and retaining as much of the original layout of the school as possible.
17. The two classrooms located to the rear of the original building (Studio/Music room and Yr1/21) would retain the external glazing and would see the addition of roof lights to ensure there is adequate sunlight and daylight as well as ventilation in existing rooms, as well as the proposed classrooms.
18. The proposed detached store would be a functional addition to the complex of school buildings. The building would be used for storage purposes and would replace the use of the existing detached sheds on site. The building itself would be single storey in its height and would relate well to the main school building with no adverse impact on the appearance of the school site.
19. In respect of character and appearance the proposed extensions and alterations would relate to the existing use and would not result in any harm or detriment to the character of the site and its locality. The proposed extension would be brick facing at ground floor level with render at first floor to provide visual relief from a wholly brick built structure, which would create an interesting building from wider views within and outside the school site. The size and scale of the proposed extension would be appropriate for a school within settlement limits and would be well proportioned to the existing buildings given the setting provided by the adjacent playing field. A condition ensuring that external finishes are agreed prior to commencement of above ground works shall be attached to planning permission (3) to ensure no harm in this respect.
20. The alterations to the parking layout and erection of detached store are considered suitable alterations on site. The removal of the temporary classrooms to allow for additional parking spaces would not have an adverse impact in regards to character and appearance.
21. In respect of the playing field, it is proposed to retain the existing running track and sports pitches whilst also installing a MUGA (with no fencing or lighting

around the same) to the south west corner of the site. To accommodate the MUGA it is necessary to remove a tree and the existing adventure playground. To the south of the proposed MUGA three additional trees would be planted and additional benches would be sited to improve the usage of this corner. Moreover the tyre play area would be re-located to the south of MUGA to enhance this corner of the playing field.

22. Whilst it would appear that a number of works would be carried out to the playing field, it is considered that there would not be any harm to landscape character of the playing field. At pre-application stage it was identified that the tree adjacent to the proposed MUGA location is a Category A tree with high amenity value. The location of the MUGA was re-located in line with comments and advice from the Council's Trees and Landscape Officer. The proposed works are in relation to the school use and would promote the use of the playing field and MUGA and would not adversely affect the character and setting of the site.
23. The proposal would require the demolition of 887m² (part of main building; PTA/store; pool changing rooms; pool plant; pool and enclosure; temporary classrooms; sheds and; lock-up) and the proposed two storey extension and external store would amount to a built footprint of 836m² overall reducing the amount of built footprint on site by 51m².
24. The extensions and alterations would overall reduce built form on site and would not be out of character nor result in any harm to the appearance or usage of the site. Although the teaching block would be taller than the original building, this would not detract from the character of the school site and would be reflective of the wider setting of the site. The landscaping treatment around the site's boundaries would remain largely unaltered and therefore it is considered that the proposal would accord with policy CP3 of the Core Strategy.

Residential Amenities:

25. **Overlooking:** The proposed development includes the erection of a two storey extension to the original school building. Some neighbours have expressed their concerns in respect of overlooking from the same. The proposed extension would be located at a distance of 28 metres from the nearest common boundary with a residential property and in addition to this the western side of the two storey extension would be occupied by a double height hall. Although there appear to be first floor windows in the west elevation of the existing, these windows would serve the purpose of allowing natural light into the hall, and would not be at a height whereby any pupils could overlook nearby residential properties (please refer to plan APS-ATK-DR-A(10)02 P1- Proposed First Floor General Arrangement). As such, no adverse impact is considered to occur to residential amenities in this respect and the proposal would accord with policy CP3 of the Core Strategy in this respect.
26. **Loss of Light & Overbearing:** The two storey height of the extension combined with its siting significantly away from the site boundaries, it is considered that the proposal would not result in any harm in respect of loss of light and overbearing to residential properties. As such the proposal is considered to accord with policy CP3 of the Core Strategy in this respect.

27. Neighbour objections have been raised on the basis of the siting of temporary classrooms during the construction phase of the development. No such details have been included within this application for the siting of temporary classrooms on site, and therefore this is not for consideration under this application. The siting of temporary classrooms would be subject to a separate planning application and neighbours will be consulted on this at such a time that an application is made.
28. As a result of the proposed increase in the number of students over the years it is considered that the increase in noise from children playing in the grounds of the school would not be at anti-social hours or significant to the extent to warrant a refusal on this basis. The increase would be limited and the Council's Environmental Health officers have raised no objections to the proposal on this basis. Nonetheless a condition to control the hours of use of the MUGA has been included, subject to which the proposal is considered to accord with policy CP3 of the Core Strategy in respect of neighbour amenity (15).
29. An objector has raised concerns regarding the re-location of the early years playground to the rear of their private amenity area (20 metres from the rear elevation of their property). It is not considered that this would result in any harm to the amenity of neighbours to warrant refusal. The school could re-locate the early years playground to anywhere within the site outside of a planning application as this does not require planning permission in itself.

Loss of Swimming Pool:

30. A number of objections have outlined the loss of swimming pool as a key issue which would reduce the number of extra-curricular activities which are undertaken at Aldryngton. Sport England as a statutory consultee have also raised an objection, advising that *'the proposals will result in a loss of sports facilities from the site that may not be replaced and may still be required by the local community'*; the objection advises that the proposal is contrary to paragraph 74 of the NPPF and Sport England's own policy to protect sports facilities from development.
31. The loss of the swimming pool is acknowledged by the applicant, however the applicant advises that a number of possible layouts were considered and the one that built the new school block on the site of the swimming pool was the best fit with the site. This enabled the retention of the playing field and the provision of adequate hard play space. In this location a maximum two storey building height is achievable and any other option would have meant that grass playing field would need to be converted to a hard surface. The applicant has argued that the grass playing field is more versatile, and is far more valuable for curriculum delivery than a swimming pool. Outdoor swimming pools are not considered essential sports facilities for schools as advised by the applicant – they are only usable in the summer term and there are other indoor pools available nearby.
32. In addition to this, objectors have pointed out a series of uses of the swimming to PTA members, local community groups and for fund raising activities. Whilst the loss of the swimming pool is unfortunate, in order for the Local Education Authority to provide its statutory duty of school spaces for all local children this has been considered the most suitable location for the extensions. Moreover,

there are other local swimming pools in the borough which can provide the same level of amenity for local residents and can allow the school to provide swimming lessons as part of the national curriculum.

33. Loddon Valley and Bulmershe Leisure Centres are available for use by the school. Loddon Primary school also has a swimming pool which could be made available to local residents and community groups to continue their fundraising events during the summer. A number of objectors have stated that the local leisure centres are full, and that Bulmershe will be closing in 2018 for refurbishment/redevelopment. Whilst these objections are noted, the Local Education Authority does have the opportunity to discuss options for Aldryngton pupils to obtain access to local swimming pools to continue to meet the curriculum requirements.

34. The loss of the swimming pool is unfortunate, however weighed against the requirement of school places to meet future demand, the loss of the swimming pool is not considered to be a significantly harmful loss. The community use of the pool is also noted, however Loddon Junior School (also on Silverdale Road) outdoor swimming pool could be utilised to continue the various summer activities and fund raising events which take place. In addition to this, indoor swimming pools are available at Loddon Valley and Bulmershe Leisure Centres.

Multi Use Games Area (MUGA):

35. Sport England have raised an objection on the loss of part of the grassed playing field, size and proposed use of the MUGA. The officer advises that *'it (the MUGA) is irregularly sized (approx. 32m x 17m) and therefore would not meet the standards set out in Sport England's design guidance for outdoor pitches and therefore may not be able to accommodate safe run-offs'*. The run-off area is the area beyond the playing pitch and before the fence of the MUGA. In addition to this the MUGA would not be an artificial grass pitch, but instead would be an additional area of hardstanding which would reduce the amount of grass playing field available on site.

36. The applicant has advised that the proposed uses of the MUGA would be for netball; basketball; hockey; tennis and; cricket. The hours of operation would be similar to the hours of operation of the school including after school clubs and holiday usage. In addition to these sports on the proposed MUGA, the school's playing field would retain the existing 2 football pitches and a 140metre running track alongside various other outside play areas.

37. Sport England's 'Comparative Sizes of Sports Pitches & Courts (outdoor) September 2015' includes guidance for the sizes and shapes of various MUGA in accordance with the type of sports they would be used for. The table below outlines the minimum 'perfect pitch area' sizes of MUGA required for the sports the applicant has advised that the proposed MUGA would be used for:

Sport (Age)	Team Size	Minimum Perfect Pitch Size	Run-off Included?
Basketball		26 x 14 m	Yes
Cricket (U13)	6person	19.2 x 18.3 m	Yes
Cricket (U13)	9person	19.2 x 27.45 m	Yes

Football Mini Soccer		37 x 27 m	Yes
Hockey (7-A-Side)		55 x 43 m	No
Outdoor Netball		30.5 x 15.25 m	No
Tennis		23.77 x 10.97 m	No

38. The proposed MUGA would be able to provide the pitch size for basketball, netball, cricket and tennis. It would fall short for football and hockey; however a larger play area for sports is available on the playing field adjacent to the MUGA. In addition to this, the MUGA would be used by under 11's who may not be using a full pitch size to play various sports.

39. The MUGA is not proposed to be fenced off or have any external lighting. In respect of run-off it is therefore considered that it may not be essential to have a run-off area as pupils can use the adjacent playing field. In order to protect the amenity of residents, no external lighting is proposed and a condition to ensure this would not change has been advised (14).

40. The shortfalls of the proposed MUGA are noted; however it would provide useable sports pitch for most of the sports outlined by the applicant and it would not be fenced, allowing additional areas of the adjacent field to be utilised if necessary. The school field also provides a 6 lane running track, large football pitch and a long jump pitch and track which provide a variety of sports facilities on site still. A condition requiring the submission of Community Use Plan for the MUGA has been included to ensure that community groups retain the same level of access to the field (16).

Access and Movement:

41. **Traffic Generation:** The proposal would increase the number of students and staff; WBC Highways officers have advised that the traffic generation in relation to the increase of 105 students over 7 years and 4 full-time members of staff would result in a limited increase of traffic generation in the local area.

42. It is acknowledged that there are existing traffic issues in relation to the local area, especially during the school-run hours; however although this would increase the number of people in the local area, it would not be to the extent that there would be a significant increase to warrant a refusal on this basis. Condition 11 requires the submission of a Travel Plan which will aim to promote sustainable travel alternatives thereby helping to address some of the wider issues of traffic and parking outside of the school's boundary.

43. Objectors have advised that the submitted Transport Statement has failed to take into account the Tesco development along Silverdale Road. The Tesco is currently under construction, and the applicant's Transport Consultant has advised that Tesco was approved under full planning permission (152661) and parking within the Tesco site was in full accordance with the Council's current parking standards and users of Tesco would not overspill on the Highways network. Deliveries at Tesco are restricted by condition, to hours outside of school run times to further limit the impact of Tesco if and when it opens. In addition to this, the opening of Tesco could in fact improve the parking situation in the local area by alleviating pressure off of the Silverdale Road parade of

shops parking as shoppers could use Tesco for their local shop at busy school run. Although Tesco parking would be for Tesco customers, it is not uncommon for parents to collect their children and shop at Tesco's alleviating pressure on the single access road and nearby roads when open.

44. **Highway Safety and Access:** The existing vehicular access point is shared with a number of other users. Aldryngton School does not have ownership of the access road and therefore there is no scope for the Council to control the use of the same. The Travel Plan will need to be created in conjunction with Maiden Erlegh School and the other users of the access road to address issues around safety and potential improvements. In respect of access for Emergency Vehicles it is considered that the proposal would not result in any detriment to the same. The access arrangements are remaining unaltered as a result of the proposal.
45. In respect of Highways safety, the proposal itself is considered not to result in any harm to warrant refusal on this basis. The Travel Plan required by Condition 11 will address issues outside of the site boundary and will need to be regularly visited to ensure it is fit for purpose.
46. A number of objectors have identified the recent accident at the shopping parade outside of the site and the lack of information in the Transport Statement in relation to the same. The application was in fact submitted before the accident occurred and the surveys within the Transport Statement were conducted in 2016. The applicant has attempted to obtain further information in regards to the accident; however there is an ongoing police investigation and information available is limited at this stage. In any event, the applicant and their consultant have advised that the accident occurred due to driver error and was not related to the school itself or the highway network. WBC Highways advise that if the Borough were responding to a general enquiry and road traffic collisions were being used to justify a request for a traffic improvement, it would not be treating the accident as a highway contributory factor. Normal factors would relate to speed and parking.
47. **Parking:** The proposal would result in the increase of 12 car parking spaces for the additional 4 full time and 4 part time staff. The proposed extension itself would only require an addition of 6 car parking spaces; however the applicant can provide an additional 12 in excess of the Borough Standards for an extension of this size. As such the proposal accords with policy CC07 of the MDD Local Plan and the proposal would provide sufficient parking to accommodate the extension.
48. The proposal accords with parking standards for the proposed extension however the existing parking on site does not accord with current parking standards. The site would fall short by 5 parking spaces. Whilst it is not a matter for the current application to deal with existing issues, the applicant has advised that as part of the Travel Plan the number of parking spaces on site will be monitored and should there be a need to increase parking on site, this will be carried out in accordance with the result of the monitoring, and can be accommodated by re-locating the existing bin store or proposed store room proposed under the current applicant.
49. One of the major concerns of objectors relates to the parking on adjacent roads

by parents dropping and collecting children and parking by sixth form students on nearby roads on week days. In respect of parking by parents, it is difficult to distinguish between different road users, for example parents of Aldryngton students, parents of Maiden Erlegh students or people accessing the shops during the school run. The current application would result in an additional 26 pupils and 4 staff arriving by car. The staff would arrive before students and would be parking within the school site and therefore this is not considered to adversely impact parking within the site. The proposed Travel Plan (condition 11) would look at highways and parking issues outside of the school's boundary and would look at addressing the concerns.

50. In respect of parking by Maiden Erlegh sixth form and the potential increase of sixth form students, this is something that is outside of the scope of this application. The current application cannot be refused on the basis of parking outside of the site by other users of the local area; however the Travel Plan would be able to look at issues relating to both schools at which time Maiden Erlegh could address the issue of parking by their sixth form students. This could be addressed by way of creating a park and stride scheme, providing additional parking within Aldryngton and Maiden Erlegh, locating specific parking location for sixth form students or a mix of all of these solutions. This is only an indication of options and is by way no way limited.

51. **Cycle:** The proposal would include 36 cycle spaces, which is considered acceptable by WBC Highways along with the continued use of the scooter storage area. It is recommended that the cycle spaces are monitored as part of the Travel Plan if there is unmet demand for these spaces then additional spaces will need to be provided. The proposal is considered to accord with policy CC07 of the MDD Local Plan in this respect.

52. **Sustainability:** The site is already well served by public transport and is within suitable distance to rail and road links and as such, no objection is raised.

53. **Travel Plan:** Condition 11 requires the school to create a Travel Plan to address wider issues of parking and accessibility in relation to the school site. The applicant has advised that this is considered acceptable and will look into a wider strategy should the application be approved.

Flooding and Drainage:

54. The site is located in flood zone 1 and there the applicant has not provided any drainage details for the development; however the Design and Access Statement advises that infiltration testing will be carried out on site. It is therefore advised that a Drainage strategy is submitted following the infiltration testing, and this shall be secured by condition (5).

55. Sport England have also raised a concern on surface water flooding on site, advising that *'the School has advised us that the playing field area already suffers from poor drainage. The removal of playing field area could therefore exacerbate this issue'*. The Council's Flood Risk & Drainage officer has looked at the details submitted within the application and has suggested an appropriate condition (5) to prevent increased flood risk from surface water run-off.

Landscape and Trees:

56. The proposed development would sit within an established school. Views into the school are restricted due to the heavy screening around the site's boundaries, which will remain unchanged as a result of the proposal and therefore the public perception of the character of the school will remain unaltered. As such there is no objection to the overall scheme, however conditions are recommended to ensure that full landscape details are provided prior to commencement of development.
57. The proposal would require the removal of 1 tree and 1 shrub. A replacement shrub and three replacement trees would be planted to mitigate the harm from the lost landscaping.
58. The Arboricultural Method Statement and tree protection submitted is considered acceptable by the Council's Landscape & Tree Officer. The Tree Survey has highlighted that trees T13 – T16 may not survive being covered by the soft rubber playground material, the Council's Trees and Landscape officer suggests that where trees are damaged and not suitable for relocation they should be replaced elsewhere on site – in addition to trees shown on the Planting Strategy Diagram. As such a condition requiring a robust landscape scheme shall be attached to planning permission (7).
59. Ground protection is specified for an area beneath T22 and T23 – additional ground protection to protect the upper layer of soil may be required depending on site access for construction/demolition vehicles – a Construction Access Plan should be submitted with details of the phasing of demolition and construction and site access points (condition 4).
60. The MUGA has been located adjacent to the Root Protection Area of T6 – this is without allowing any area for future root growth. The area is to be surfaced with tarmac and therefore construction diagram for this and for the wetpour area is required to ensure no harm to the root protection area. This can be included within the landscape scheme secured under condition 7.
61. Subject to conditions 4, 6 and 7 it is considered that the proposal would accord with policies CC03 and TB21 of the MDD Local Plan and would not detrimentally alter the character and appearance of the site.

Environmental Health

62. Due to the location of the site within a residential area, the Council's Environmental Health officers have advised that a Construction management plan should be submitted to ensure that the development does not harm residential amenities during the construction phase. As such a condition (4) has been attached requiring the submission of Construction Management Plan. In addition to this a condition to limit working hours (14) has also been recommended.

Ecology:

63. **Bats:** Due to the isolation of the site from suitable bat foraging habitat, it is unlikely that this application will have an adverse effect on the local bat population. However an informative (5) should be attached to planning permission if granted. As such the proposal is considered to accord with policy TB23 of the MDD Local Plan.

64. There is little opportunity to include wildlife enhancements within the proposal, such as Stag Beetle log pyramid as there is very little removal of shrubs and trees. Should the school be interested in incorporating any enhancements, the applicant is advised to contact the Council's Ecology Officer and Countryside Services team directly.

Community Infrastructure Levy:

65. As the proposal is for the construction of extensions at a school, it would not be CIL liable development.

Other:

66. *Waste Comments:* Thames Water would recommend that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol / oil interceptors could result in oil-polluted discharges entering local watercourses.

Thames Water would advise that with regard to sewerage infrastructure capacity, they would not have any objection to the above planning application. Informative have been attached in respect of Surface Water Drainage and Water comments.

67. SGN have emailed advisory notes to the planning authority, which have been forwarded onto the applicant's agents for information. The email identifies that there are gas network pipes within the vicinity of the site and that the applicant's builders should be aware of this and carry out any necessary precaution.

68. **Quality of Education:** Objectors have raised concerns that the quality of education would be impacted by the expansion of the school and that the only reason for expanding Adryngton is because of the Ofsted rating of 'Outstanding'. Paragraphs 8-11 of the above report outline the reasons for why Adryngton has been chosen for expansion and the need has been demonstrated. It is considered that the loss of the swimming pool will not affect the quality of education of students as swimming lessons could take place at other local pools. Regardless, any potential future Ofsted rating is not a material planning consideration that can be taken into account in determining this application.

69. **Staffing:** Some objectors have identified that it is difficult to attract teaching staff. This is not a material planning consideration and it is the applicant's duty to ensure that sufficient staffing can occur at the school.

70. **Poor Consultation:** Objectors have advised that consultation in January 2016 by the applicant was inadequate. This consultation does not relate to the planning application, but the applicant's own consultation with the school, parents

and residents. The local planning authority has carried out its own consultation with neighbours and local residents and all information has been made available on the website for review. The local planning authority has carried out consultation in line with its Statement of Community Involvement.

71. **Inadequate information to Executive Committee:** An objector has advised that incorrect or inadequate information was provided to the Executive Committee in January 2016 who made the decision to explore expansion of Aldryngton. This is outside of the remit of the current planning application, and the applicant should be contacted to obtain further information on this point.
72. **Construction Period:** Objectors have advised of the amount of disruption which would occur during the construction phase of the development. A condition requiring the submission of Construction Management Plan (4) and control of working hours (13) have been attached to ensure that there is no adverse impact on students, staff and neighbours in this respect.
73. **Catchment Area:** Some objectors have advised that students from outside of the catchment area and the borough could be attracted to Aldryngton as a result of the expansion, therefore increasing the pressure on traffic and parking in the local area. The Local Education Authority have advised that evidence indicates increased demand in Earley is driven by high birth rates and housing churn (leading to the replacement of older households with younger families). Two schools have admitted a significant number of children from Reading (Earley St Peters and Whiteknights). Places made available at Aldryngton would be for students within the catchment area and some for children with siblings already at Aldryngton who may not live within the catchment.

Planning Balance:

74. It is considered that whilst there is an objection by a statutory consultee and local residents, the planning merits of the scheme must be assessed and a planning balance must be made.
75. The application for expansion at the school would allow the Local Education Authority (LEA) to increase school spaces on site by 105 over a 7 year period. The LEA have demonstrated that there has been a lack of spaces available to local children and that there is evidence for a demand of 45 spaces (30 to be fulfilled by Loddon and 15 by Aldryngton). The LEA have also advised that if demand is not as high as predicted the expansion will not go ahead in September 2017, but would be looked into in following years if necessary.
76. The proposed MUGA would allow year round use of an area of the playing field, allowing students to play sports throughout the year. Whilst the size may not comply with the standards advocated by Sport England, the space would be useable and would allow for different sports to be played by school children which are currently not available to them on site. The size of the MUGA has been informed from the siting of other pitches available for use on site. Moreover, the Department for Education consider hard weather surfaces to be twice the value of grassed areas due to their capacity for sustained use over the year, and therefore the MUGA would be available for use throughout the year for activities.

77. The current swimming pool is an outdoor pool which is only used for part of the year. Although it does provide a wider benefit for local residents, the priority for the LEA is to provide education in line with the national curriculum and although extra-curricular activities are encouraged, they are not essential for the school to provide outstanding education.

78. At the time of this report and officers recommendation, Sport England's objection is still in place and has not been withdrawn. The applicant has provided additional information to Sport England however no further comments have yet been received. The procedure for this application would be that if Members are minded to recommend approval of the application, Member would resolve to consult the Secretary of State on the application and supporting papers in accordance with paragraphs 9 and 10 of the Town and Country Planning (Consultation) (England) Direction 2009; and grant Planning Permission provided i) the Secretary of State decides not to call in the application for determination; or ii) the period in which the Secretary of State may respond under paragraph 11 of the Town and Country Planning (Consultation) (England) Direction 2009 expires. If the Secretary of State decides not to call the application in, permission can be granted.

CONCLUSION

The principle of the proposed development is considered to be acceptable and in line with national and local policies. There is an objection from a statutory consultee; however the merits of the scheme in providing essential school places without detriment to neighbour amenity, parking and local character would outweigh the harm in respect of the loss of an outdoor swimming pool. Other reasons for objections relate to parking and highways issues outside of the red line boundary and these can be addressed by way of condition by requiring the creation of a Travel Plan with different users of the local area. As such, subject to conditions the proposal is recommended for approval.

CONTACT DETAILS

Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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37

DO NOT SCALE

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:

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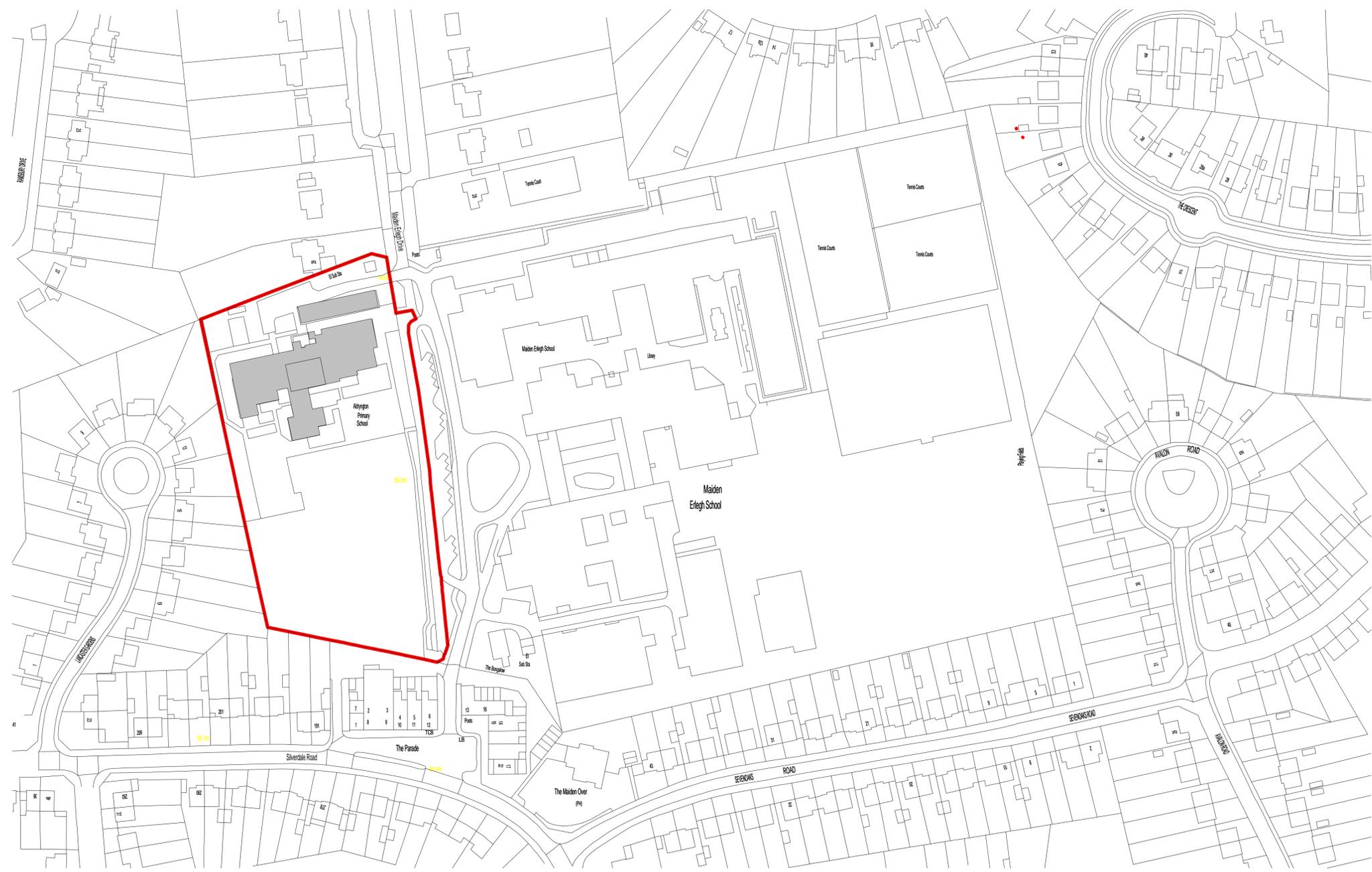
MAINTENANCE/CLEANING

N/A

DECOMMISSIONING/DEMOLITION

N/A

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement



1 Existing Location Plan
SCALE 1 : 1000

Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

Drawing Status: **PLANNING** Substantity: **S2**

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Client: **ALDRYNGTON PRIMARY SCHOOL EXPANSION**

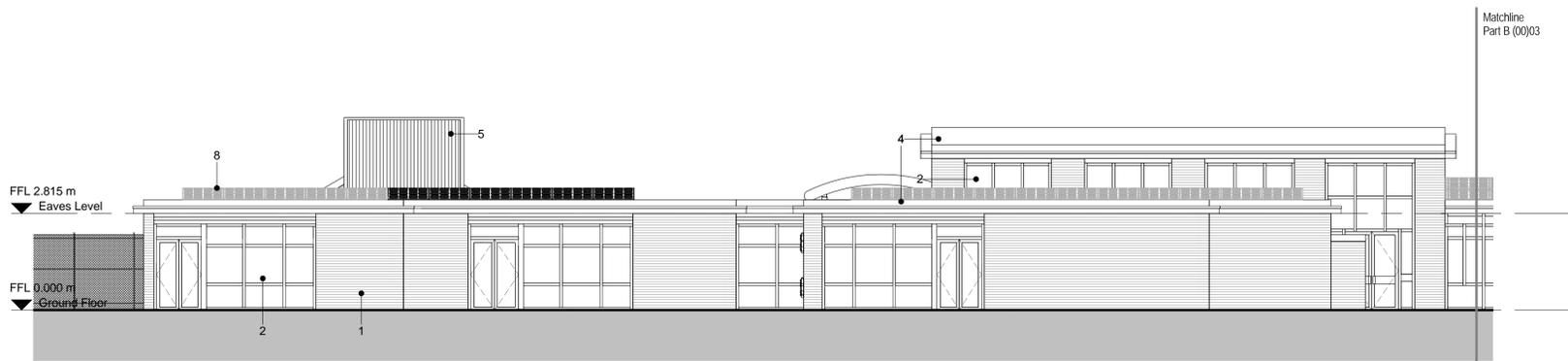
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As indicated	-	JGW	JW	CW
Original Size	Date	Date	Date	Date
A1	22.11.2016	22.11.2016	22.11.2016	22.11.2016
Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(00)01	P1		



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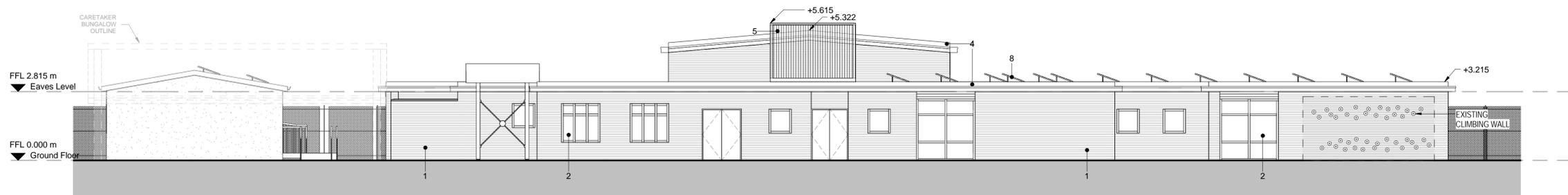
DO NOT SCALE



1 South Elevation - Part A
SCALE 1 : 100



2 South Elevation - Part B
SCALE 1 : 100



3 West Elevation
SCALE 1 : 100

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

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- EXISTING MATERIAL KEY**
1. BRICK
 2. UPVC WHITE FRAMED GLAZED WINDOWS & DOORS
 3. TREATED TIMBER
 4. BLACK FLAT ROOF FELT
 5. POWDERCOATED METAL WATER TANK
 6. WELDMESH FENCING
 7. BUFF RENDER
 8. PV PANELS

Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

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Drawing Title: **EXISTING ELEVATIONS**

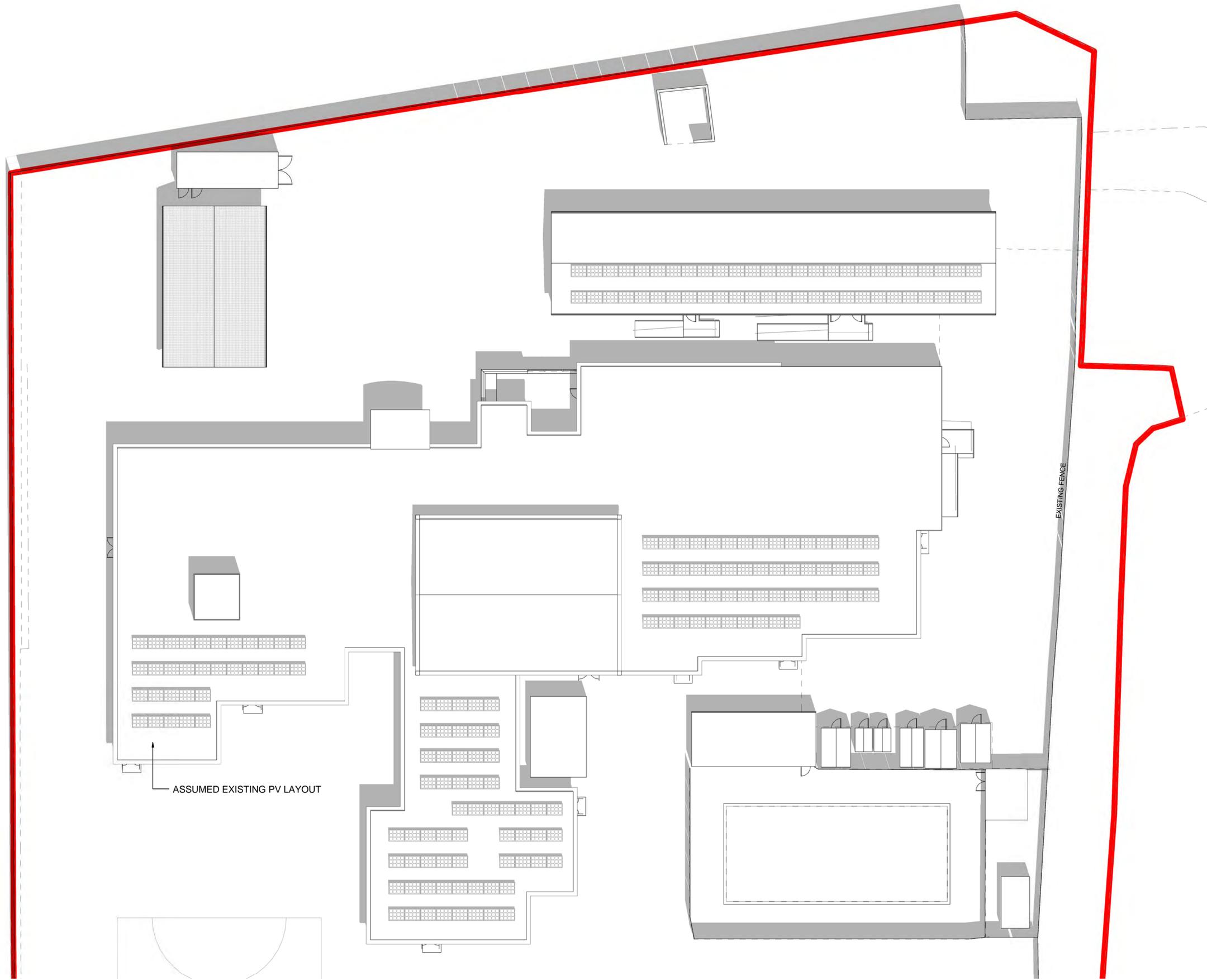
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Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(00)06	P1		

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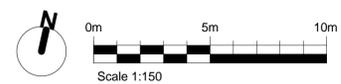
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1 Existing Roof Plan
SCALE 1 : 150



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N/A

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N/A

DECOMMISSIONING/DEMOLITION
N/A

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Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

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Drawing Title: **EXISTING ROOF PLAN**

Scale	Designed	Drawn	Checked	Authorised
1 : 150	-	JGW	JW	CW
Original Size	Date	Date	Date	Date
A1	22.11.2016	22.11.2016	22.11.2016	22.11.2016
Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(00)04	P1		

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CONSTRUCTION

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MAINTENANCE/CLEANING

N/A

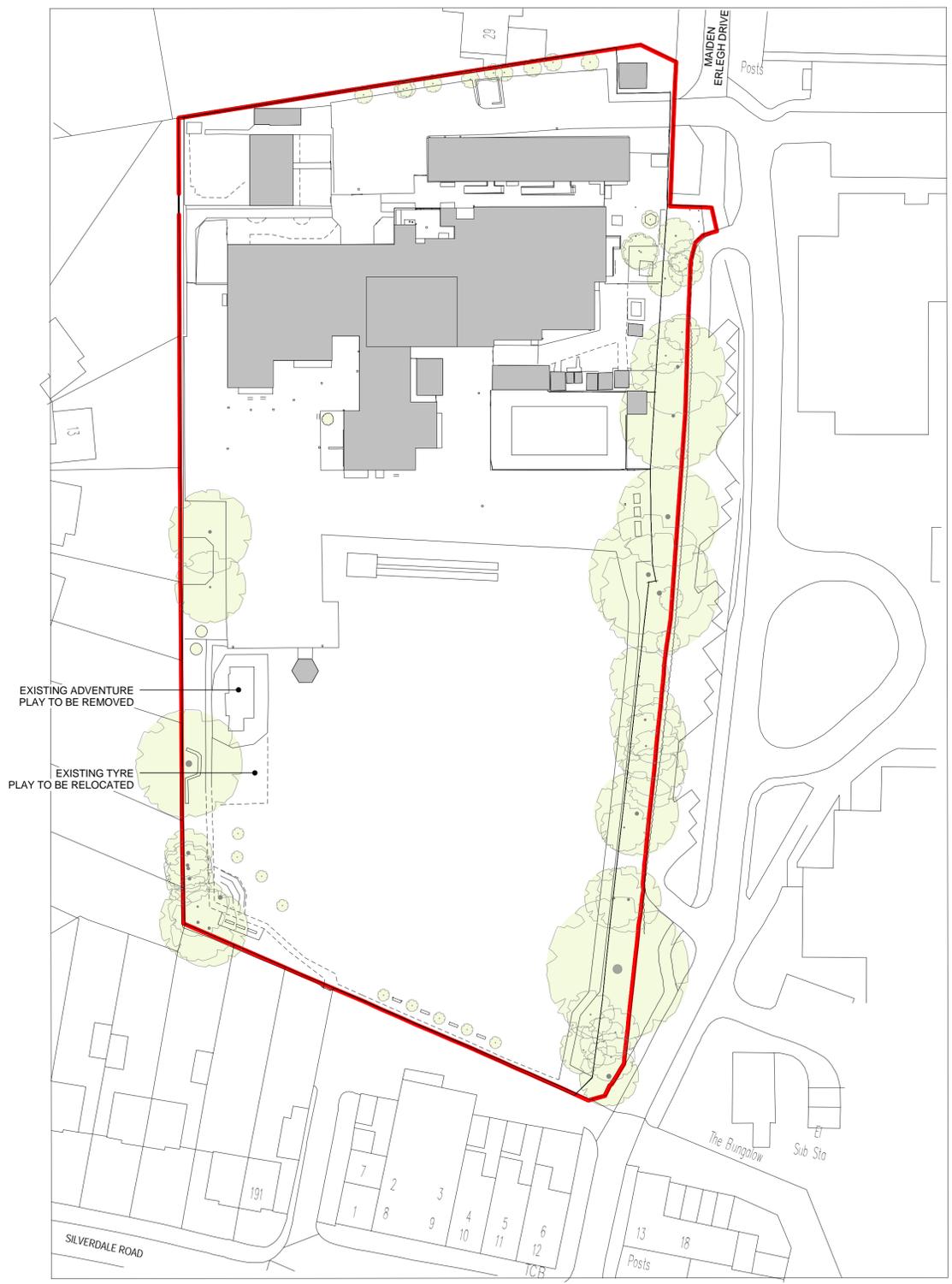
DECOMMISSIONING/DEMOLITION

N/A

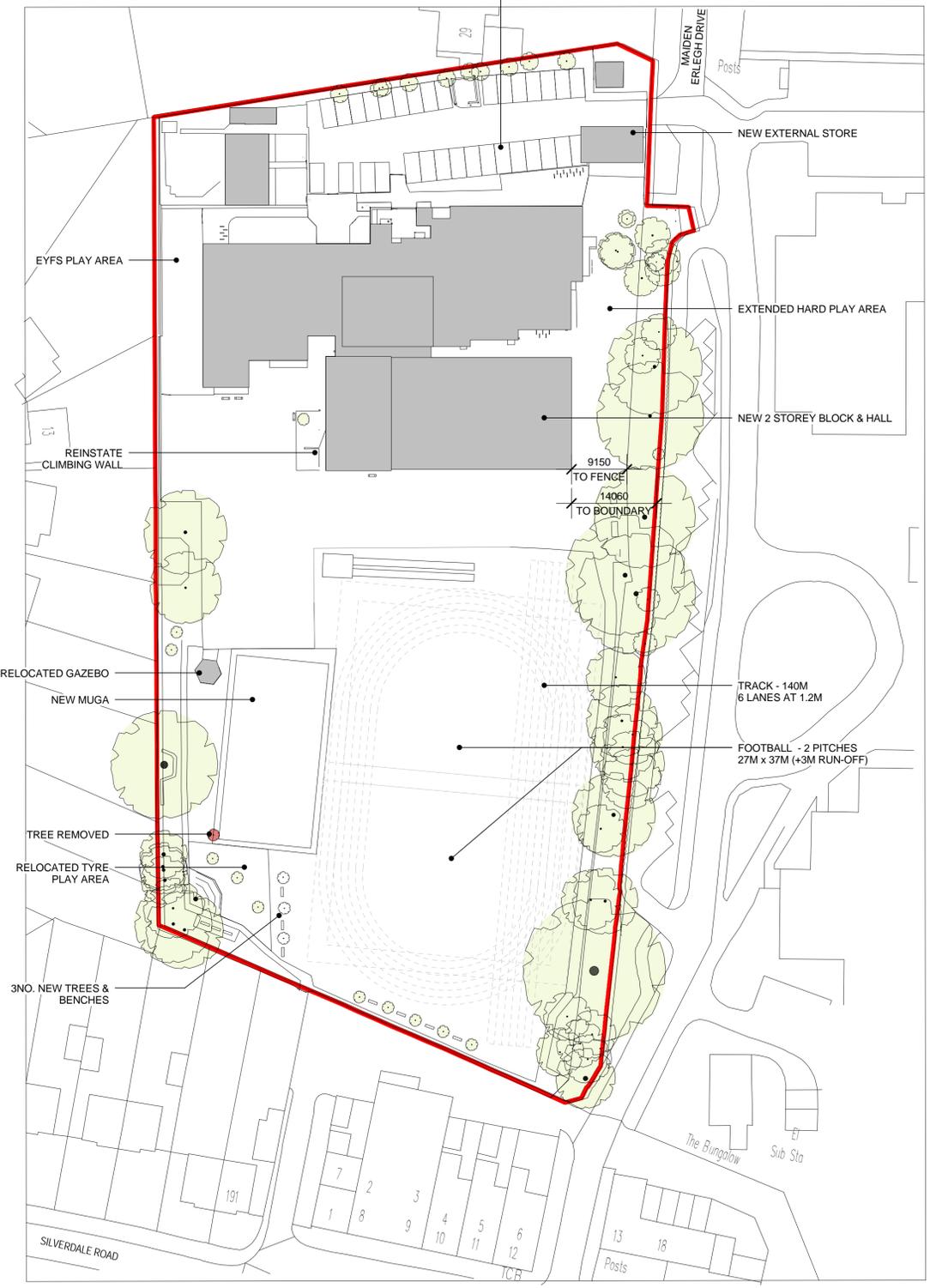
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43



1 Existing Site Plan
SCALE 1 : 500



3 Proposed Site Plan
SCALE 1 : 500



Rev.	Date	Description	By	Chk'd	App'd
P3	04.01.17	PROPOSED MUGA RELOCATED	JGW	JW	CW
P2	08.12.16	PROPOSED MUGA RELOCATED	JGW	JW	CW
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

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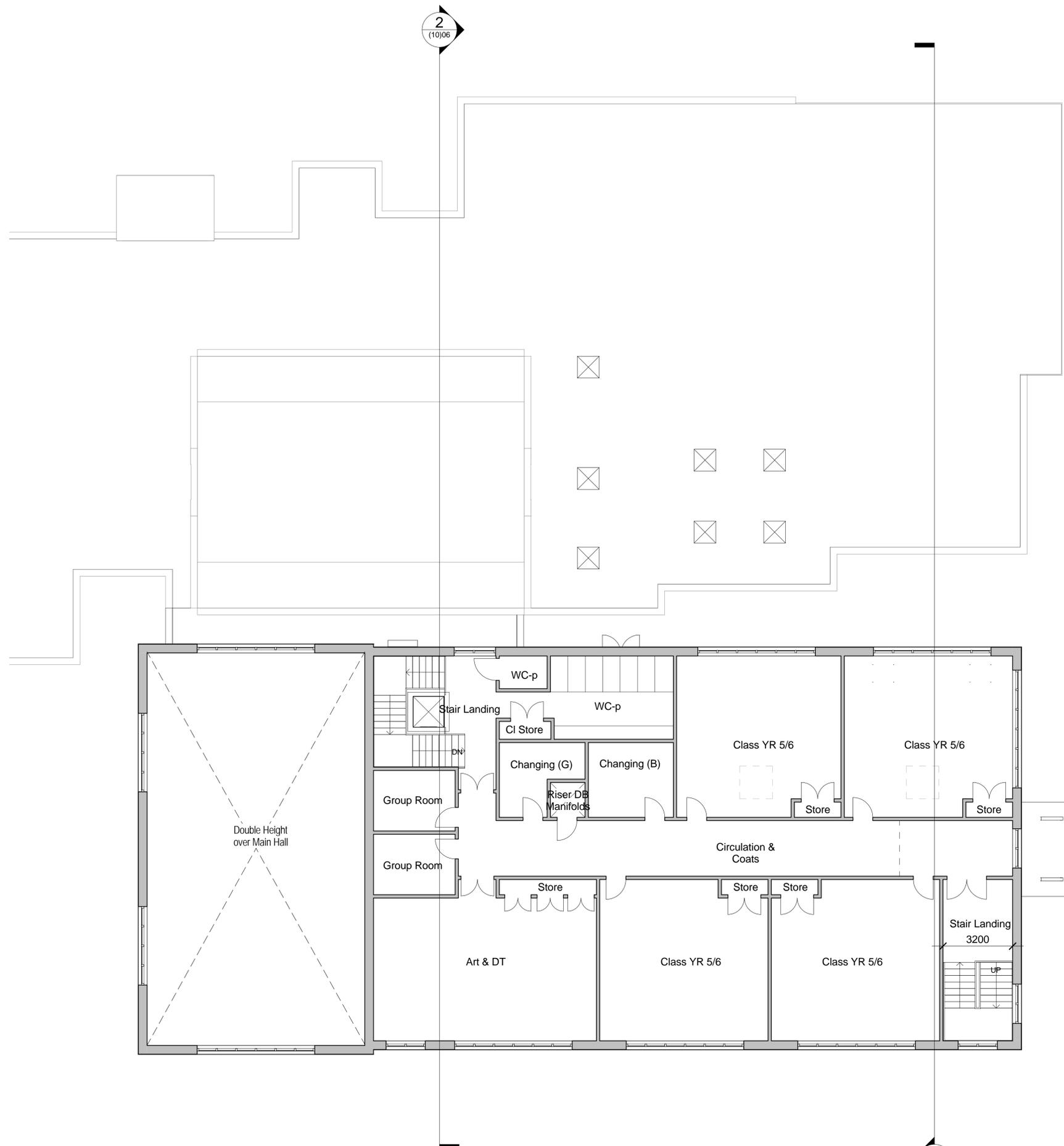
Project Title: **EXISTING & PROPOSED BLOCK PLAN**

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As indicated	-	JGW	JW	CW
Original Size	Date	Date	Date	Date
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Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(00)02	P3		

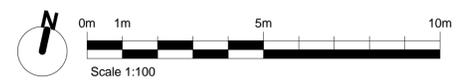
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1 Proposed First Floor GA
SCALE 1 : 100



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:

CONSTRUCTION

N/A

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N/A

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Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE		JGW	JW CW

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Client: **WOKINGHAM BOROUGH COUNCIL**

Project Title: **ALDRYNGTON PRIMARY SCHOOL EXPANSION**

Drawing Title: **PROPOSED FIRST FLOOR GENERAL ARRANGEMENT**

Scale	Designed	Drawn	Checked	Authorised
As indicated	JW	JGW	JW	CW
Original Size	Date	Date	Date	Date
A1	22.11.2016	22.11.2016	22.11.2016	22.11.2016
Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(10)02	P1		

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Millimetres
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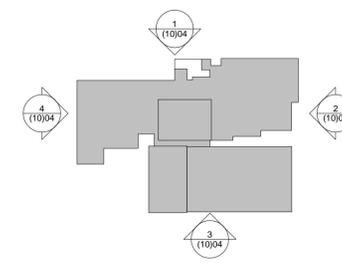
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MAINTENANCE/CLEANING

N/A

DECOMMISSIONING/DEMOLITION

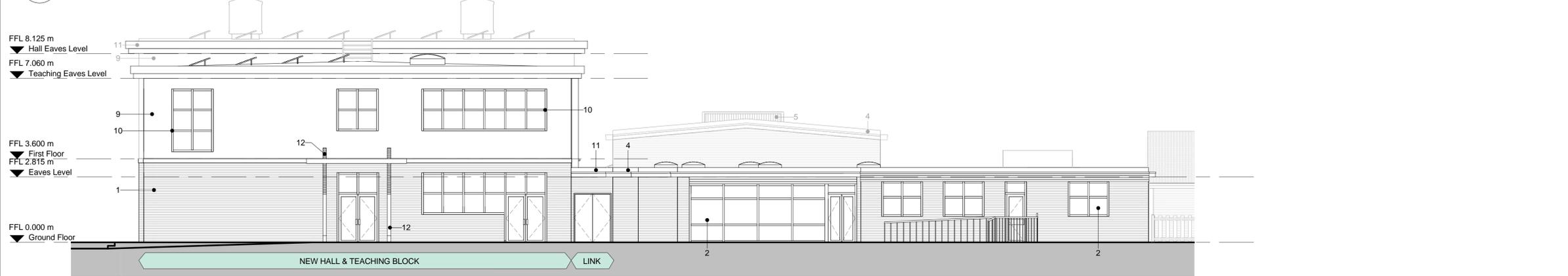
N/A
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- EXISTING MATERIAL KEY**
- 1. BRICK
 - 2. UPVC WHITE FRAMED GLAZED WINDOWS & DOORS
 - 3. TREATED TIMBER
 - 4. BLACK FLAT ROOF FELT
 - 5. POWDERCOATED METAL WATER TANK
 - 6. WELDMESH FENCING
 - 7. BUFF RENDER
 - 8. PV PANELS
- PROPOSED MATERIAL KEY**
- 9. WHITE RENDER
 - 10. GREY POWDERCOATED ALUMINIUM GLAZED WINDOWS & DOORS
 - 11. GREY SINGLE PLY MEMBRANE ROOFING
 - 12. ENTRANCE CANOPY - POWDER COATED ALUMINIUM
 - 13. EXISTING CLIMBING WALL TO BE REINSTATED



1 Proposed North Elevation
SCALE 1 : 100



2 Proposed East Elevation
SCALE 1 : 100



3 Proposed South Elevation
SCALE 1 : 100



4 Proposed West Elevation
SCALE 1 : 100

Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

Drawing Status	PLANNING	Suitability	S2
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Client
ALDRYNGTON PRIMARY SCHOOL EXPANSION

Project Title
PROPOSED ELEVATIONS

Scale	Designed	Drawn	Checked	Authorised
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Original Size	Date	Date	Date	Date
A1	22.11.2016	22.11.2016	22.11.2016	22.11.2016
Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(10)04	P1		

4/6

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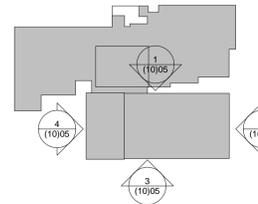
MAINTENANCE/CLEANING

N/A

DECOMMISSIONING/DEMOLITION

N/A

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement



EXISTING MATERIAL KEY

- 1. BRICK
- 2. UPVC WHITE FRAMED GLAZED WINDOWS & DOORS
- 3. TREATED TIMBER
- 4. BLACK FLAT ROOF FELT
- 5. POWDERCOATED METAL WATER TANK
- 6. WELDMESH FENCING
- 7. BUFF RENDER
- 8. PV PANELS

PROPOSED MATERIAL KEY

- 9. WHITE RENDER
- 10. GREY POWDERCOATED ALUMINIUM GLAZED WINDOWS & DOORS
- 11. GREY SINGLE PLY MEMBRANE ROOFING
- 12. ENTRANCE CANOPY - POWDER COATED ALUMINIUM
- 13. EXISTING CLIMBING WALL TO BE REINSTATED

Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

Drawing Status	PLANNING	Subsidiary	S2
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Client

WOKINGHAM BOROUGH COUNCIL

Project Title
ALDRYNGTON PRIMARY SCHOOL EXPANSION

Drawing Title
**PROPOSED ELEVATIONS
NEW 2 STOREY BLOCK**

Scale	Designed	Drawn	Checked	Authorised
As indicated	JW	JGW	JW	CW
Original Size	Date	Date	Date	Date
A1	22.11.2016	22.11.2016	22.11.2016	22.11.2016

Project Number	Drawing Number	Revision
5152187	APS-ATK-DR-A(10)05	P1

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47



1 Proposed North Elevation

SCALE 1 : 100



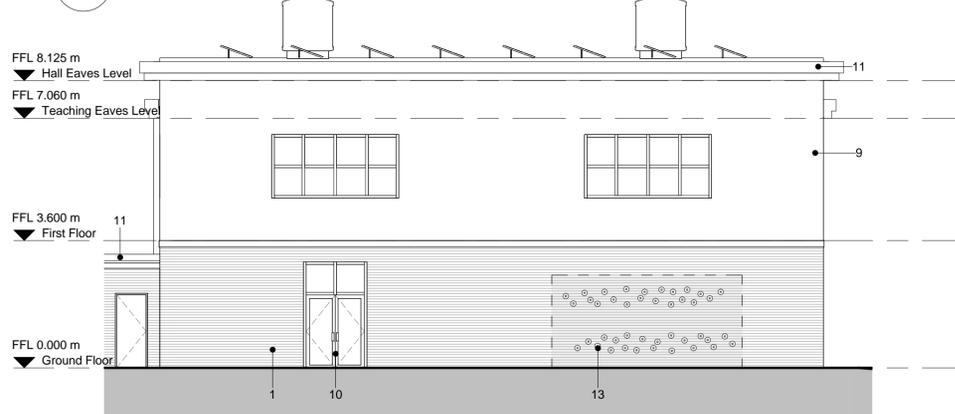
2 Proposed East Elevation

SCALE 1 : 100



3 Proposed South Elevation

SCALE 1 : 100



4 Proposed West Elevation

SCALE 1 : 100

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Millimetres
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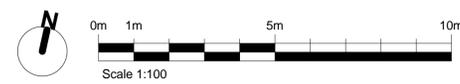
48

DO NOT SCALE



PV PANELS
35m² REQUIRED TO MEET 10% CRITERIA
EXISTING PANELS TO BE RELOCATED

1 Hall Eaves Level
SCALE 1:100



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:

CONSTRUCTION
N/A

MAINTENANCE/CLEANING
N/A

DECOMMISSIONING/DEMOLITION
N/A

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement

Rev.	Date	Description	By	Chk'd	App'd
P1	02.12.16	FIRST ISSUE	JGW	JW	CW

Drawing Status: **PLANNING** Substability: **S2**

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Client: **ALDRYINGTON PRIMARY SCHOOL EXPANSION**

Drawing Title: **PROPOSED ROOF PLAN**

Scale	Designed	Drawn	Checked	Authorised
As indicated	JW	JGW	JW	CW
Original Size	Date	Date	Date	Date
A1	22.11.2016	22.11.2016	22.11.2016	22.11.2016
Project Number	Drawing Number	Revision		
5152187	APS-ATK-DR-A(10)03	P1		

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FROM: Pooja Kumar Telephone: 0118 974 6626

DATE: 17 January 2017

EARLEY TOWN COUNCIL PARISH CONSULTATION SHEET

Application Number: 170031

Proposal: Full application for the proposed demolition of external stores, swimming pool (including support facilities), temporary classrooms and part demolition of main building, followed by the erection of a two storey teaching block with hall. Erection of detached store adjacent to car park, provision of MUGA in playing field and associated works to landscaping, extension to car and cycle parking. .

Site Address: Aldryngton Primary School, Silverdale Road, Earley, RG6 7HR.

Applicant: Ms Sarah Dukes.

Your observations are required in respect of this application **by 14/02/2017.**

Please send comments by Email to: planning.enquiries@wokingham.gov.uk

In considering this application, Councillors took into account comments from the school, neighbours, parents and local residents and concluded that the application failed to address the inadequacies of access to the school through the joint entry approach shared with Maiden Erlegh School, pre-school, library and shops.

Councillors also considered that further detail should be provided on the effect that increased traffic, from the proposals and from the new Tesco store, and the lack of suitable parking availability would have in the surrounding area following the expansion and how the safety of local pedestrians, schoolchildren and cyclists could be ensured.

For these reasons Councillors requested that the application be refused.

SIGNED: 

DATE: 7-2-17

Clerk To Earley Town Council Parish/Town Council.

CASE OFFICER	
PLANNING	
13 FEB 2017	
COPIES	
REPLIED	

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Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
162829	Ext	Shinfield	Shinfield South	N/A Major Development

Applicant Taylor Wimpey Homes

Location Land north of Church Lane Church Lane Three Mile Cross **Postcode** RG7 1HB

Proposal Application for Reserved matters application for 175 dwellings including internal access roads, garages, parking places, open spaces, allotments, Multi-Use Games Area (MUGA) and Locally Equipped Area of Play.

Type Reserved Matters

PS Category 7

Officer Christopher Howard

FOR CONSIDERATION BY Planning Committee on 01/03/17

REPORT PREPARED BY Delivery Programme Director

SUMMARY

The reserved matters application follows several other planning consents for the South of the M4 SDL and the significant majority of the housing allocation and associated infrastructure required by the Core Strategy within the SDL has now been approved. Specifically relevant to this site is the outline planning permission which was approved for 900 residential units, a primary school, public open space and suitable alternative natural greenspace at Spencers Wood and Three Mile Cross. Outline consent has been granted on appeal for 1,200 residential units and 150 extra care units at Shinfield West together with a primary school, local centre, public open space sports pavilion, suitable alternative natural greenspace (SANG) and access and landscaping. Both applications help to secure the delivery of the required infrastructure within the SDL which includes sports pitches, open space, education facilities and a new public transport service.

The outline application for this site also secured 3 areas of SANG – 5 Acre Field, The Ridge and Mays Farm and the latter is fully open and available for public use. In addition work for the Eastern Relief Road is well advanced ahead of the housing triggers imposed at the Shinfield West appeal. This has been achieved through forward funding (in the form of a loan) by the Homes and Communities Agency (HCA).

There is further planning history for the SDL provided below.

The overarching vision of the SDL is to provide a co-ordinated approach to the delivery of infrastructure and services ensuring that developments are of a high quality and are sustainable. This includes the provision of schools, community facilities, good quality open space and appropriate local transport and links.

The outline application for Spencers Wood and Three Mile Cross was supported by an Infrastructure Delivery Plan (IDP) which established how the necessary infrastructure could be delivered. A S106 legal agreement secured the proportion of infrastructure attributable to the development and triggers for its delivery.

The principle of development in this location has been established through its allocation by policy CP19 of the Core Strategy and through the Spatial Framework Plan within the South of the M4 Supplementary Planning Document together with the outline planning permission. In addition, the site is located within the development limits as identified in Policy 1 of Shinfield Parish Neighbourhood Plan

The application is before the Planning Committee as it is a major development that is recommended for approval. It is considered that the development would be a sustainable urban extension to the existing settlement whereby residents would have good access to services and facilities. The development would not have a significant detrimental impact on the character of the area or on existing residents.

The proposal would provide for an adequate level of amenity for the future occupants of the dwellings together with an acceptable impact on ecology, traffic, highway safety and flood risk in addition to contributing to the delivery of infrastructure provided jointly by the wider SDL such as the Eastern Relief Road. In addition it would also assist in the delivery of housing numbers and assist the council in maintaining a 5 year housing supply.

In design terms, the proposal meets all the standards and in particular internal space and parking. The proposals are considered to be acceptable, represents good design and therefore it is recommended that reserved matters are approved subject to conditions outlined below.

PLANNING STATUS

- Strategic Development Location (SDL) as identified on the Core Strategy
- South of the M4 Strategic Development Location SPD
- Infrastructure Delivery and Contributions SPD
- Within 5km of the Special Protection Area (SPA)
- Mineral consultation zone
- Nuclear Consultation Zone (HSE to be consulted on schemes of 200 dwellings or more)

RECOMMENDATION

APPROVE RESERVED MATTERS subject to the following conditions:

1) Nothing herein contained shall be deemed to affect or vary the conditions imposed by planning permission O/2013/0346 dated 22/07/14 which conditions shall remain in full force and effect save in so far as they are expressly affected or varied by this permission.

2) The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan numbers being finalised to be included on members update

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3) Prior to the commencement of development, details of the measures to restrict the vehicular access at the north of the site shall be submitted and agreed in writing by the Local Planning Authority. This shall provide details to show that no vehicles other than emergency vehicles / vehicles associated with the use of the pumping station /bicycles shall be permitted to access the site to the north via Basingstoke Road. The measures shall be implemented in accordance with the approved details prior to the commencement of development and permanently so retained unless otherwise agreed in writing by the local planning authority.

Reason: In the interest of highway safety. Relevant policy Wokingham Borough Core Strategy Policy CP6 and principles identified in Appendix 10 of the Spencers Wood and Three Mile Cross Environmental Statement pursuant to planning approval O/2013/0346

4) Prior to the commencement of development, details of the construction access and a construction access strategy shall be submitted for approval by the local planning authority. The access arrangements shall be implemented in accordance with the agreed details / strategy unless otherwise agreed in writing by the local planning authority.

Reason: In the interest of highway safety / residential amenity. Relevant policy Wokingham Borough Core Strategy Policy CP6 /CP3 and Paragraph 10.85 and 10.145 of the Spencers Wood and Three Mile Cross Environmental Statement pursuant to planning approval O/2013/0346

5) No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking space(s) and cycle parking areas have been provided in accordance with the approved plans. The vehicle parking space(s) shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

6) No building shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 10 metres measured from the carriageway edge.

To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

7) The applicant will adopt and apply/install the various noise mitigation measures identified in the submitted RPS Noise Assessment dated September 2016 and in RPS letter dated 28th September 2016 (ref NS/JAE8715/EB) to protect future occupants of the development from road traffic noise.

Reason: To safeguard the residential amenities of the future occupants of the dwellings Relevant policy: Core Strategy policy CP3

8) Prior to the commencement of development a detailed scheme to maintain the ecological permeability of the site for the tunnel/culvert under road 4, dropped kerbs on Road 1 and the emergency access link at the north of the site (linking to Basingstoke Road to the pumping station) especially with regard to reptiles, amphibians and

hedgehogs shall be submitted to and approved in writing by the local planning authority for that sub-phase. The mitigation and contingency measures contained within the scheme shall be implemented in accordance with the approved details and the details approved under condition 23 of the outline planning permission (O/2013/0346) unless otherwise approved in writing by the local planning authority.

Reason: To ensure appropriate mitigation for the biodiversity impact of the development in accordance with Wokingham Borough Core Strategy Policy CP7

9) Prior to the commencement of development, details of fencing for the rear / side boundaries of dwellings that back/side onto the application site along Church Lane, Basingstoke Road and Silchester Place shall first be submitted for approval to the Local Planning Authority. The fencing shall be installed in accordance with the approved details prior to the formation of any foundations earlier date to be agreed in writing by the Local Planning Authority and permanently so retained.

Reason: In the interests of visual and residential amenity and to ensure the proper planning of the site. Relevant policy: Core Strategy policies CP1 and CP3

10) Prior to the commencement of the development a landscape management plan, including long term design objectives, management responsibilities, timescales and maintenance schedules for all landscape areas, other than privately owned, domestic gardens, shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved.

Reason: In order to ensure that provision is made to allow satisfactory maintenance of the landscaping hereby approved. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

11) Those windows shown on the approved drawings as having obscured glazing in part or full shall be so-fitted and shall be permanently so-retained, and shall remain fixed closed at all times

*Reason: To safeguard the residential amenities of neighbouring properties.
Relevant policy: Core Strategy policy CP3*

12) Notwithstanding the provisions of the Town and Country Planning, (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no additional windows or similar openings shall be constructed in the first floor level or above in any elevation of the buildings hereby permitted except for any which may be shown on the approved drawing(s).

*Reason: To safeguard the residential amenities of neighbouring properties.
Relevant policy: Core Strategy policy CP3.*

13) No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

Reason - The development may lead to sewage flooding; to ensure that sufficient capacity is made available to cope with the new development; and in order to avoid adverse environmental impact upon the community. Relevant policy: Core Strategy policy CP1 and CP4

14) Development should not be commenced until: Impact studies of the existing water supply infrastructure have been submitted to, and approved in writing by, the local planning authority (in consultation with Thames Water). The studies should determine the magnitude of any new additional capacity required in the system and a suitable connection point.

Reason: To ensure that the water supply infrastructure has sufficient capacity to cope with the/this additional demand. Relevant policy: Core Strategy policy CP1 and CP4

15) Development in proximity of the Southern Gas Network pipeline on Church Lane shall be carried out in accordance with the requirements outlined below:

- I. No mechanical excavation is allowed within 3 metres either side of pipeline.
- II. No plant or storage of equipment shall be made within any easement strip.
- III. If any metallic pipes or cables are being laid in proximity to gas pipelines then interference testing will be required, the cost of which to be borne by the promoter of the works. A minimum clearance of 600mm is required.
- IV. All precautions stated in publication SGN/WI/SW/2 (Work Instruction for Safe Working in the Vicinity of Pipelines & Associated Installations operating >7barg) shall be fully complied with in all respects.
- V. No thrust boring shall take place within three metres of the pipeline.
- VI. All planting within the easement strip should comply with "Notes for Guidance on Tree Proximity".
- VII. Before commencing work on site you must contact our Pipeline Maintenance Section on 0141 4184093 at least seven days before work commences. A Southern Gas Networks representative will then contact you to arrange to visit site. Details of working near to high-pressure gas pipelines can then be discussed.
- VIII. Pipeline sections that are planned and agreed by SGN to be permanently covered (i.e. by road surface) will require a coating survey. SGN will repair any indicated coating defects free of charge. The survey costs will be borne by the promoter of the works. Prior to any surface cover cathodic protection coupons and reference cells will require installation at no cost to SGN.
- IX. This pipeline is cathodically protected and as such has test cables located in surface boxes, were these to be lost through this work we would look to you for remedial action at no cost to SGN.
- X. Intrusive construction methods will require an agreed method statement prior to work starting.
- XI. Any extended period of SGN site supervision may incur charges to you. These will be charged based on visiting times, materials and occurrences. You will be informed when these come into effect and be invoiced direct.

XII. Any piling or boreholes within 15 metres of the pipeline may require vibration monitoring. No piling or boreholing must take place within 3 metres of the pipeline.

Reason: To safeguard the existing infrastructure in accordance with Wokingham Borough Core Strategy Policy CP4

Informatives

1. The applicant is advised that the Council seeks that employers or developers within the borough commit to using local labour / contractors where possible. This should include:

- Advertisement of jobs within local recruitment agencies / job centres;
- Recruitment and training of residents from the local area;
- Seek tender of local suppliers or contractors for work.

2. The applicant is advised that the reserved matters planning approval should be read in conjunction with the S106 for the outline planning application for planning permission O/2013/0346.

3. The applicant is informed that parking may need to be restricted along the main routes and on turning heads.

4. All the new dwellings should be built to 'Secured by Design' part 2 accreditation in the interests of the safety, crime prevention and amenity of future occupiers of the development. National sustained research proves that Secured by Design housing developments suffer at least 50% less burglary, 25% less vehicle crime and 25% less criminal damage.

5. Work on Highway

The Corporate Head of Environment at the Council Offices, Shute End, Wokingham should be contacted for the approval of the access construction details before any work is carried out within the highway. This planning permission does NOT authorise the construction of such an access.

6. Mud on Road

Adequate precautions shall be taken during the construction period to prevent the deposit of mud and similar debris on adjacent highways. For further information contact Corporate Head of Environment on tel: 0118 974 6302.

7. Highway Adoption

If it is the developer's intention to request the Council, as local highway authority, to adopt the proposed access roads etc. as highway maintainable at public expense, then full engineering details must be agreed with the Corporate Head of Environment at the Council Offices, Shute End, Wokingham. The developer is strongly advised not to commence development until such details have been approved in writing and a legal agreement is made with the Council under S38 of the Highways Act 1980.

8. Highway Management

Any works/events carried out either by, or at the behest of, the developer, whether they

are located on, or affecting a prospectively maintainable highway, as defined under Section 87 of the New Roads and Street Works Act 1991, or on or affecting the public highway, shall be coordinated under the requirements of the New Roads and Street Works Act 1991 and the Traffic management Act 2004 and licensed accordingly in order to secure the expeditious movement of traffic by minimising disruption to users of the highway network in Wokingham.

9. Utilities

Any such works or events commissioned by the developer and particularly those involving the connection of any utility to the site, shall be co-ordinated by them in liaison with Wokingham Borough Council's Street Works Team, (telephone 01189 746302). This must take place at least three month in advance of the works and particularly to ensure that statutory undertaker connections/supplies to the site are coordinated to take place wherever possible at the same time.

10. Noise

The attention of the applicant is drawn to the requirements of Section 60 of the Control of Pollution Act 1974 in respect of the minimisation of noise on construction and demolition sites. Application, under Section 61 of the Act, for prior consent to the works, can be made to the Environmental Health and Licensing Manager.

11. Employment and Skills plan should be provided in accordance with the Council's guidance. The applicant is advised to contact Angela Torr, Economic Sustainability Team, WBC.

12. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

Planning history - site

O/2013/0346	Hybrid application with part in outline in respect of up to 900 dwellings up to a three form entry primary school public open space access and landscape (means of access into the site to be considered) and part in full in respect to Suitable Alternative Natural Greenspace (SANG) following demolition of existing dwelling and ancillary buildings including greenhouses sheds stables and garage (214a Hyde End Road). - Approved 22/07/2014
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Planning History South of M4 SDL

F/2005/4827	Proposed construction of an Eastern relief road for Shinfield including a new bridge over the M4 motorway and under Cutbush Lane. Appeal withdrawn 31/10/2006
O/2007/2268	Outline application for the proposed residential development (C3 Use) at a minimum of 30 dph plus creation of new vehicular accesses footpath links cycleways and public open space. Approved 25/02/2008
O/2009/1027	Outline application for phase 1 development of Science & Innovation Park (Access to be considered) plus full application for the construction of access road foot and cycle ways M4 overbridge and associated works including landscaping and engineering works plus erection of boundary wall and fence adjoining Shinfield Road/Access Road. Part demolition and reformation of facade of Stable Buildings at Lane End Farm and demolition of existing farm buildings. – Approved 27/10/10
F/2010/1428	Full application for the construction of an Eastern Relief Road (ERR) to Shinfield including the construction of road foot and cycle-ways an M4 over-bridge. Re-grading of embankments landscaping utilities creation of flood compensation areas and associated works including engineering and other operations. Erection of replacement boundary wall and fence adjoining Shinfield Road/ ERR part demolition of existing farm buildings at Lane End Farm and demolition/deconstruction of two poly tunnels south of Cutbush Lane. – Appeal Approved 08/11/2012
F/2010/1434	Application for change of use of land from agricultural to Suitable Alternative Natural Greenspace (SANG) (Sui Generis use) and associated development to include Pedestrian and Vehicular access car park Footpaths and Landscaping. – Appeal Approved 08/11/2012
O/2010/1432	Outline application for a residential development of up to 1 200 dwellings a further 150 units of specialist housing (including sheltered housing) for elderly persons a local centre to include a foodstore (2 500 sqm) and other retail and office uses a community building proposed extension of existing primary schools erection of a new primary school public open space sports pavilion suitable alternative natural greenspace (SANG) and access and landscaping. – Appeal Approved 08/11/2012
F/2013/0347	Full planning permission for the erection of 276 dwellings with associated access landscaping and open space following demolition of existing dwelling and ancillary buildings (214a Hyde End Road). - Approved 24/12/2013
O/2013/0565	Outline application for the erection of 100 dwellings with associated landscaping and open space means of access to be considered. – Approved 10/04/2014

O/2013/0101	Outline planning permission for a residential development comprising up to 126 dwellings, public open space, children's play areas, accesses to Cutbush Lane and the Shinfield Eastern Relief Road, Landscaping, Ecological buffer zone, ground modelling, sustainable drainage systems and associated infrastructure. – Approved 22/07/2014
VAR/2014/0624	Application to remove condition 48 of planning consent O/2010/1432 (the development shall be implemented in accordance with the approved Residential Travel Plan) – <i>Officer note: this has been removed, however a deed of variation has been agreed to the S106 agreement to secure contributions towards the councils own travel plan – My Journey.</i> Approved 22/10/14
F/2014/2323	Full permission erection of 9 dwellings north of Croft Road – Approved 23/03/15
NMT/2014/1837	Application for a non-material amendment to planning consent O/2010/1432 to allow for changes to condition 15 relating to Affordable Housing Provision – <i>Officer note: this application secured 16.6% on site affordable housing provision and a commuted sum for off-site affordable housing which has been secured through a deed of variation to the legal agreement.</i> Approved 23/10/14
RM/2015/1375	Reserved Matters application pursuant to Outline Planning consent VAR/2014/0624 for the erection of 69 dwellings including access roads garages parking spaces open space and landscape treatment of Phase 1a Shinfield West (access within site appearance landscaping layout and scale).
RM/2015/0630	Reserved Matters application pursuant to Outline Planning Consent O/2009/1027 for the development of phase 1A of proposed Thames Valley Science Park comprising the construction of a gateway building and all associated landscaping and ancillary works plus temporary car parking arrangements – Appearance, Landscaping, Layout and Scale to be considered.
160183	Application for Reserved Matters submission in respect of the primary infrastructure phase including access roads, suds ponds, foul and surface water drainage and associated landscaping. Approved 15/04/16
161189	Reserved Matters application pursuant to Outline planning permission VAR/2014/0624 (Pursuant to O/2010/1432) for the erection of 517 dwellings including access roads, garages, parking spaces, open space and landscape treatment of Phase 1, Shinfield West. (Access within the site, appearance, landscaping, layout and scale to be considered). Approved 21/07/2016

SUMMARY INFORMATION

For Residential

Site Area	12.63
Site Area residential	4.58
Existing units	
Proposed units	175
Proposed density - dwellings/hectare	28 (nb this figure excludes the linear park, SUDS and Ecological Mitigation area).
Number of affordable units proposed	15
Previous land use	Agricultural / open fields
Proposed parking spaces	427 (this figure discounts 50% of the garage parking spaces in accordance with WBC parking standards.

CONSULTATION RESPONSES

WBC Archaeological officer	No objection – covered by condition 43 of outline planning consent.
Natural England	No objection
WBC Environmental Health	No objection
Network Rail	No comments
Thames Water	No objection, request conditions 13 and 14
Highways England	No objection
English Heritage	No comment
WBC Planning Policy	No comment
WBC Waste services	Standing advice in respect to refuse collection / bin collection points
WBC Highways/drainage	No objection, request conditions 3- 6
WBC Landscape and trees	No objection, request condition 9
WBC Ecology	No objection
Shinfield Parish Council	<p>Shinfield Parish Council request a 20mph speed limit within the development from the outset <i>Officer note: 20mph speed limit is very difficult to enforce and when implemented usually includes additional highway features to assist in constraining vehicles speed, as well as a lot of additional signage and street furniture. Features of a 20mph scheme would include narrower street, shared surface areas for pedestrians / cycles and cars, on street parking, along with changes in surface materials and also physical features like vertical deflection. 20mph schemes generally result in narrower roads, which within a development of this scale would affect the ability for adequate servicing by delivery and refuse vehicles, as well as impacting upon parking spaces currently identified for visitors etc to the development site.</i></p> <p>Request for parking management to be managed by developer prior to WBC adopting</p> <p><i>Officer note: Until the development site is formally</i></p>

	<i>adopted, the management of the roads and parking area remain the responsibility of the developer. As the site will be within private control until adoption takes place, which is usually upon completion of the development, parking enforcement by the Police will not be possible. A condition securing a Parking Management Plan was secured at the Outline application and therefore we will be able to review the detail and seek for the strategy to cover the site prior to adoption by the Highway Authority.</i>
Berks Bucks and Oxford Wildlife Trust	No comments received
WBC Conservation Officer	No comments
Environment Agency	No comments
WBC Affordable Housing	No objection
WBC Public Rights of Way	Request a short link onto Basingstoke Road at the north of the site <i>Officer note: Although desirable, this would involve work on third party land and therefore cannot be secured through condition. There are good existing footpath links to Meareoak Park and Ride and Three Mile Cross Centre from Basingstoke Road</i>
WBC Flood Risk Officer	No objection
Sport England	Request further sports provision be provided for the housing growth – <i>Officer note: This has been secured at the outlined stage and will be delivered in accordance with the triggers identified in the S106</i>

REPRESENTATIONS

- Impact on wildlife/ecology/trees – *Office note: The principle of development has been established for this site under the outline planning application. This included a full Environmental Statement which assessed the impact on these issues and mitigation measures to offset them. The current reserved matters application has been assessed by the Biodiversity Officer and Landscape Officer and they have supported the application*
- Loss of agricultural land / countryside /Overdevelopment of the village – *Officer note: The principle of development on this site has been established through the outline planning application. This issue cannot be revisited for the purposes of the reserved matters application.*
- Impact on highways / highway safety – *Officer note: The principle of development has been established for this site under the outline planning application. This included a full Transport Assessment which assessed the impact on the highway. See report below paragraphs 63-72*
- Lack of a strategy for bus and road improvements – *Officer Note: All planning applications within the SDL had to contribute towards transport improvements (such as ERR) and bus improvements. A south of the M4 bus strategy has also been submitted for approval. This combined with the public transport subsidy secured through the outline planning permissions for the South of the M4 will improve bus frequency for the area.*
- Loss of views – *Officer note: Not a material planning consideration and cannot be used for a reason for refusal*
- Devaluation of property – *Officer note: not a material planning consideration*

- Flood Risk – *Officer note: The outline planning application included a full flood risk assessment. Further information has been submitted with the reserved matters in the form of drainage plans and a drainage statement. This has been assessed by the Flood Risk Officer and they have raised no objections to the proposed scheme.*
- Impact on sewers – *Officer note: Conditions 13 and 14*
- Loss of Light / Privacy – *Officer note: Fully assessed in paragraphs 38 - 46 below*
- Noise / Disruption / Construction Access – *These matters can be controlled by the CEMP attached to the outline planning permission and condition 4*
- Height of houses – *Officer note: these have been established at the outline planning application stage. See report below paragraphs 23 - 30*

PLANNING POLICY

National Policy

National Planning Policy Framework 2012

Technical Guidance to the National Planning Policy Framework 2012

National Planning Policy Guidance 2014

South East Plan 2009 Saved policy NRM6 - Thames Basin Heaths Special Protection Area

Wokingham Borough Core Strategy policies:

CP1 - Sustainable Development

CP2 - Inclusive Communities

CP3 - General Development Principles

CP4 - Infrastructure Requirements

CP5 - Housing Mix, Density and Affordability

CP6 - Managing Travel Demand

CP7 - Biodiversity

CP8 - Thames Basin Heaths Special Protection Area

CP9 - Scale and Location of Development Proposals

CP10 - Improvements to the Strategic Transport Network

CP11 - Proposals outside Development Limits (including countryside)

CP17 - Housing delivery

CP19 – South of the M4 Strategic Development Location

Appendix 7 – Additional Guidance for the Development of Strategic Development Locations

Managing Development Delivery Local Plan (MDD LP) policies

CC01 Presumption in Favour of Sustainable Development

CC02 Development Limits

CC03 Green Infrastructure, Trees and Landscaping

CC04 Sustainable Design and Construction

CC05 Renewable energy and decentralised energy networks

CC06 Noise

CC07 Parking

CC08 Safeguarding alignments of the Strategic Transport Network & Road Infrastructure

CC09 Development and Flood Risk (from all sources)

CC10 Sustainable Drainage

Residential Uses

- TB05 Housing Mix
- TB07: Internal Space Standards
- TB09 Residential accommodation for vulnerable groups

Landscape and Nature Conservation

- TB21: Landscape Character
- TB23: Biodiversity and Development
- SAL05: Delivery of avoidance measures for Thames Basin Heaths Special Protection Area

Shinfield Parish Neighbourhood Development Plan:

- Policy 1 Location of Development
- Policy 2 General Design Principles
- Policy 3: Sustainable Development
- Policy 4: Accessibility and Highway Safety
- Policy 5: Parking
- Policy 6 Trees, Hedgerows and Woodlands
- Policy 7: Biodiversity
- Policy 8: Flooding
- Policy 9: Community Assets
- Policy 10: Community and Sports Facilities
- Policy 12 Broadband Provision

Supplementary Planning Documents

- Wokingham Borough Design Supplementary Planning Document (18 February 2010)
- Planning Advice Note, Infrastructure Impact Mitigation, Contributions for New Development (Revised 28th April 2010)
- Sustainable Design and Construction Supplementary Planning Document (28 May 2010)
- South of the M4 Strategic Development Location Supplementary Planning Document (October 2011)
- Infrastructure Delivery and Contributions Supplementary Planning Document (October 2011)
- Wokingham Borough Affordable Housing Supplementary Planning Document (2 June 2011)
- A Vision for Our Villages: Ryeish Green, Spencers Wood, Three Mile Cross Character Statement

PLANNING ISSUES

Principle of development and infrastructure delivery

- 1) The application site forms part of a larger area designated under the Wokingham Borough Core Strategy as the South of the M4 Strategic Development Location (SDL).
- 2) Wokingham Borough Core Strategy policy CP17 establishes a requirement to provide at least 13,487 new dwellings with associated development and infrastructure in the period 2006-2026. The majority of this new residential development will be in four SDLs, of which South of the M4 SDL is one of these. It is anticipated that a phased development incorporating approximately 2,500 dwellings and associated infrastructure

will be delivered on 77 hectares of land within the South of the M4 SDL (Appendix A7.14).

3) Core Strategy policy CP19 is amplified by Appendix 7 of the Core Strategy, the South of the M4 Strategic Development Location Supplementary Planning Document (SPD) and Infrastructure Delivery and Contributions SPD, which addresses the associated infrastructure impacts across the whole Borough. These documents establish a requirement for a sustainable, well designed, mixed use development and make clear that a co-ordinated approach to the development of the SDL will be required to deliver the necessary infrastructure, facilities and services to meet the needs of the expanded community. The development site sits within the development limits as outlined in Policy 1 of Shinfield Parish Neighbourhood Plan

4) Outline planning permission for the site was granted in July 2014 (O/2013/0346). This established the principle of development for the site together with access for up to 900 residential units on land at Spencers Wood and Three Mile Cross across 4 development parcels, together with an up to 3 form of entry primary school, SANGs and areas of public open space. These were considered against the relevant Core Strategy policies and Local Plan policies and the application was approved. The current application seeks reserved matters approval for appearance, layout, landscaping and scale for 175 units to the north of Church Lane. The indicative layout of the outline planning application is shown on figure 1 below and shows the relationship with the development parcel with land to the south of Church Lane which will be brought forward under a separate reserved matters application.

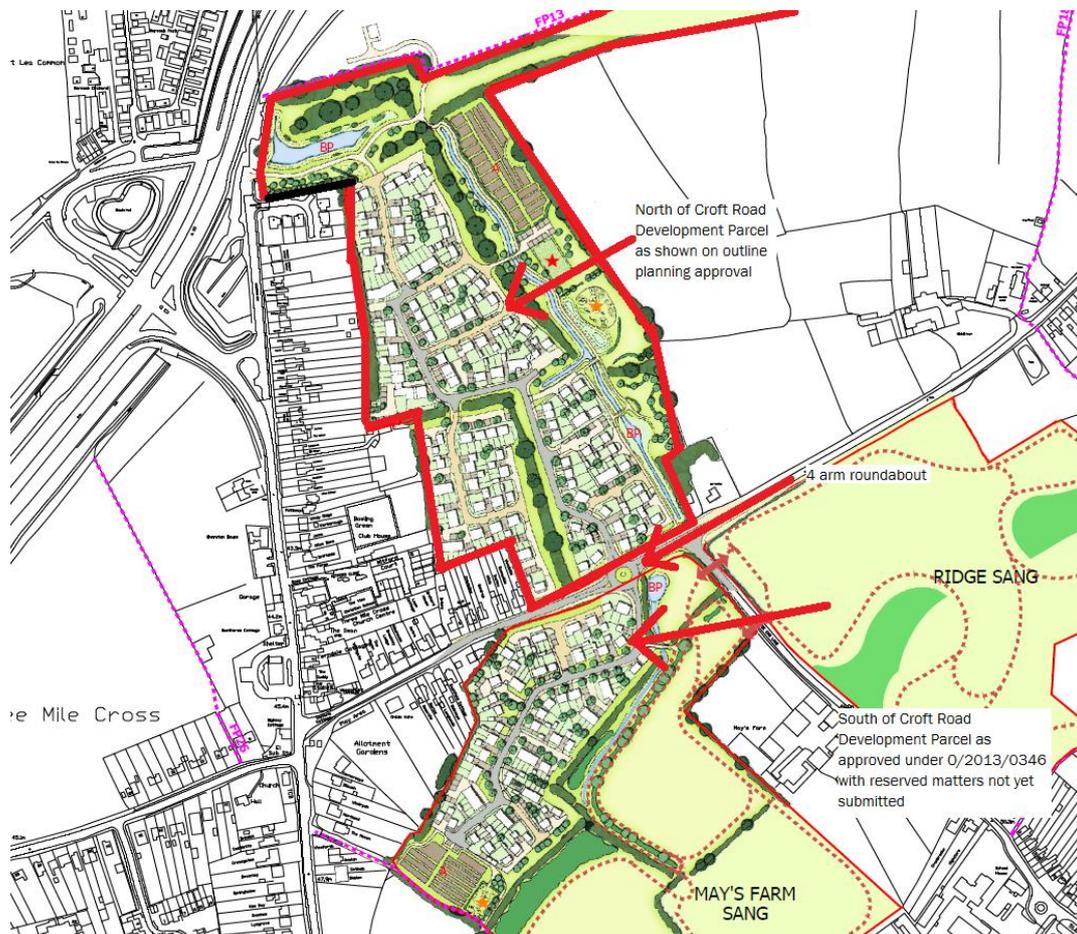


Figure 1: Outline indicative masterplan showing the development parcels north and south of Croft Road.

south of Church Lane and access

5) The outline consent included an Infrastructure Delivery Plan and S106 legal agreement. The legal agreement secures the coordinated delivery of the infrastructure necessary to support the development and fair share of the SDL wide infrastructure. These included contributions towards off-site infrastructure and services such as roads, education, sports facilities, community facilities and green infrastructure. In addition, it secured on site affordable housing and a affordable housing contribution in accordance with the Core Strategy and Infrastructure Delivery and Contributions Supplementary Planning Document.

Site background/established principles

6) The details approved under the outline planning consent established parameters for the development including general site layout including the quantum of development, indicative location of housing, open space, density and general heights of buildings. Access to the site was also established. A four arm roundabout was approved on Church Lane. This will link the north and southern parcels once the land to the south of Church Lane is brought forward as shown in figure 1 above. An additional access is proposed to serve three houses which is subject to approval under planning application 162830. This has been included in response to site constraints in order to protect existing landscape features.

7) The current planning application broadly reflects the principles identified above and a Design Code has been submitted for the site. This establishes the overarching principles for the site for areas such as highway widths and design principles for the houses themselves. This will ensure consistency in design approach of the key streets / spaces once the future development parcels are brought forward. The main principles of the design code and how they have been applied for this reserved matters application are further discussed in paragraphs 20-22

Site Description

8) The application site relates to land north of Church Lane to the east of the existing Three Mile Cross village envelope. The land use is predominantly open fields currently used for grazing. Linear landscape features (hedges and trees) intersect the edges and centre of the site, the majority of which will be retained in the site layout. The site is bounded from the south by housing on Church Lane and to the west by predominantly residential development along Basingstoke Road / Silchester Place. The M4 is located to the north of the site and open fields to the west.

Affordable and specialist housing

9) Core Strategy Policy CP5, *Housing mix, density and affordability*, amplified by MDD LP Policy TB05: *Housing Mix*, South of the M4 SPD Design Principle 2b, the Infrastructure SPD and the Affordable Housing SPD, requires a mix of tenures, including 35% affordable housing within SDLs.

10) The application proposes 15 affordable dwellings (11 two bedroom dwellings and 4 three bedroom dwellings) on site equating to 8.5%. The S106 pursuant to the outline application secures a 25% off site affordable housing contribution. The surplus units (1.5%) will be delivered when the housing to the south of Church Lane is delivered (approved under O/2013/0346). This will meet the need to secure the 35% affordable housing required across the two development parcels and the affordable housing officer is satisfied with this approach.

11) The location of affordable housing and clustering of it has been raised by representations received. The affordable housing has been designed to be tenure blind (i.e. blend in and not be distinctive in design to the market housing). Furthermore, clustering the units is preferred by the Regional Housing Providers as it helps with the future management of the dwellings. On this basis, the location and distribution of the affordable housing is considered acceptable.

12) It is considered that the application is in accordance with the agreed strategy and will secure the 35% affordable housing requirement. The affordable housing officer is satisfied with this strategy.

Dwelling mix

13) MDD LP Policy TB05 requires an appropriate housing mix which reflects a balance between the character of the area and the current and projected needs of households.

14) The application proposes the dwelling mix outlined in table 1:

Table 1: Dwelling mix

Dwelling Type (bedrooms)	Number provided on site	2 Storeys	2.5 Storeys	3 Storeys
1 bed apartment	17	2 *	15 *	0
2 bed apartment	33	9 *	15 *	9 *
2 bed house	17	17	0	0
3 bed house	65	33	32	0
4 bed house	26	14	12	0
5 bed house	17	0	17	0

*Note: the apartments will be delivered in 5 blocks.

15) Officers raise no objections in terms of the dwelling mix. Taking the constraints of the site into account, this approach is considered acceptable.

Masterplan – Layout

16) Core Strategy Policies CP1, *Sustainable Development* and CP3, *General Principles for Development* requires high quality design that respects its context. This requirement is amplified by MDD LP Policies CC03, *Green Infrastructure, Trees and Landscaping* and TB21, *Landscape Character* and South of the M4 SPD which requires development proposals to protect and enhance the Borough’s Green Infrastructure, retaining existing trees, hedges and other landscape features and incorporating high quality - ideally native – planting as an integral part of any scheme, within the context of the Council’s Landscape Character Assessment.

17) Core Strategy policy CP19 sets out the concept rational for the design parameters for the South of the M4 SDL and these are outlined in further detail in Appendix 7 of the Core Strategy. This states that:

Development in a series of locations around the periphery of the three villages is required. This approach should consider the relationship between the current built areas and the open countryside. Opportunities to form new edges

to the existing villages exist, allowing a managed transition between urban and rural.

18) Policy 1 of Shinfield Parish Plan sets out the development limits. These follow those identified in the South of the M4 SPD. The development site is within these limits. Policy 2 sets out general design principles and requires that development is complementary to the built environment surrounding the development site and layouts should acknowledge existing landscape constraints. Policy 6 is concerned with Trees, Hedgerows and Woodland in new development and sets out a landscape led design approach with retention and appropriate buffers to existing important vegetation.

Further design guidance is provided by the South of the M4 SPD in section 4. Design principle 3 is concerned with character and states that there should be diversity and distinction in the SDL which should be enhanced through the application of character typologies.

19) It is important to set out the site in the context of the overarching outline planning permission for Spencers Wood and Three Mile Cross. The application parcels forms a significant part of the Three Mile Cross planning unit. In order to ensure consistency of design for the entire planning unit, the overarching planning consent established design principles including indicative parameter plans for development limits, density and building heights. Further design guidance was also included within the Design and Access Statement (DAS).

20) To build upon these principles, a design code has been submitted with this reserved matters application. This will ensure a consistent approach for development between the current development parcel. These principles will also be generally applied when the development parcel to the south of Church Lane is brought forward.

21) The submitted masterplan retains the principles within the outline planning application and design code. To reflect this and inform diversity of development, the applicant has applied three different character areas to the layout (Core Area, Western Pocket and Church Lane Frontage). Within these areas, differing street typologies, building heights and landscaping have been applied to promote variety and also manage vehicle speeds throughout the site. In addition, consideration has been applied to the relationship of the site and the constraints of the surrounding area through the application of these differing character areas. This is shown in figure 2 below:



Figure 2: Proposed Character Areas

22) The principle layout of the site has been established by the principals established within the outline planning application. This identified the key routes through the site and principles identified in the approved DAS have informed street hierarchy, landscaping and drainage features. As these have been established, the layout of the main route is considered acceptable.

Masterplan – Design and appearance

23) In terms of the detailed design of the buildings, the South of the M4 SPD recommends that the existing built form should be used to inform the design which is echoed by the Shinfield Parish Plan policy 2. The design code sets out the parameters for the site and builds upon the principles established by the design and access

statement for the outline planning consent. The current application incorporates the Core Area, Western Pocket and Church Lane Frontage and these are taken in turn below.

24) The Core Area character area is applied to the northern half of the development parcel and is defined by permeable linear development. This has been informed by the traditional linear built form within Three Mile Cross. Some development within this character area is located on part of the spine road and in the heart of the development, three storey apartment blocks have been included to emphasise the key spine road. Away from this, building heights diminish towards existing residential development and the eastern part of the site. This responds well to the site constraints and existing residential development at the east.

25) The Core Area Character Area has also been applied to the north eastern edge of the site. In this location the majority of buildings are 2 – 2.5 stories in height although one apartment block is proposed adjacent to the play area at the eastern edge. Whilst this building would be slightly above the approved AOD heights for the outline planning application, it would serve an important function as providing natural surveillance to the play area which is partially screened by existing vegetation that needs to be retained in the site layout. The building heights would also add variety to the built form and is not considered to result in harm to the visual amenities of the wider area.

26) There are also several other limited houses that would exceed the AOD heights for the outline application. These however are generally in response to the drainage constraints of the site with levels raised to ensure suitable drainage channels are incorporated (see paragraphs 73-77 below) and to provide appropriate buffers to landscape features. In the majority of cases, these are marginal increases above the approved parameter plans. It is considered that any perceived harm relating to this is minimal and the impact of the increase in building heights are offset by the benefits of the retained vegetation and the drainage strategy. Therefore these are acceptable and when taken into consideration of the site as a whole, are not considered materially harmful to the appearance of the local area.

27) The Wester Pocket character area has been applied to a small parcel to the south west of the proposed layout. Here a less formal approach has been applied to the housing layout and housing design. The layout has been applied in response to the landscaping constraints of the area. This approach ensures that the majority of the landscape features would be retained and this will help to soften the development from the outset. The applicant has also carefully considered pedestrian links to Church Lane and a footpath has been provided to the east of this development pocket to provide access to the development site as a whole.

28) For the Church Lane character area, the applicant has incorporated design principles informed by the existing residential development to the west of the site. Access is from a four arm roundabout on Church Lane and a low profile three storey apartment building (11.5m high) acts as a landmark gateway building to the site. Away from this the applicant has used a good balance of 2 – 2.5 storey house types to which provided variety in building typology and respond well to the constraints of the site. Frontage development is applied to Church lane and away from the roundabout; this follows the existing linear built form.

29) Throughout the site, the applicant has provided a good range of housing types and

styles ensuring that there is diversity in the built form and a range of housing for future occupants. The application of character areas outlined above also helps provide variety throughout the site in terms of building types and layout. In addition, there is diversity in the style of the dwellings achieved through detailing such as rendering on some house types and brick work details on others. This helps to provide a clear and legible neighbourhood while providing some diversity in design.

30) The overall design approach for all of the dwellings provide continuity in approach and is considered to respect the context of the site location and advice provided by the NPPF, policies CP1 and CP3, Policy 2 of the Shinfield Parish Neighbourhood Plan together with the South of the M4 SPD and Supplementary Planning Guidance and is therefore acceptable.

Masterplan – Density

31) Design principles 3 (a-g) are outlined in the South of the M4 SPD and are concerned with the character of the development, including the density of development. The Core Strategy approach for the South of the M4 SDL in respect to density is outlined in Appendix 7 which indicates an average density of 30-35dph across the SDL.

32) The overall density proposed by the application is 28dph. Whilst this is slightly lower than the guidance, the vegetation constraints and buffer zones have restricted developable area. As this has been well considered within the site layout, the proposed density is considered acceptable.

33) In terms of the distribution of density across the site, the applicant has carefully considered the site constraints and relationships with the surrounding built form and open landscape. Higher density has been applied to the core part of the site with this diminishing towards the edges. This approach is acceptable and would provide a transition from the countryside and existing housing to the higher density units at the centre of the site.

Masterplan – Landscaping

34) The site at present is defined by established linear hedgerows and a number of trees. The proposed masterplan has taken these into consideration and incorporated the significant majority of the landscape features into the layout. In the majority of cases, housing has been orientated to front and or side onto this and this approach will help soften the development from the outset as well as providing natural surveillance to these areas which will help with management. A formal linear park incorporating allotments, children's play and a MUGA to the east of the development also provides a buffer between the site and the open countryside. A SUDS pond is also located in this space and to the north of the site. Furthermore, an ecological mitigation area is also proposed to the north which will also serve as landscape value.

35) Overall, the majority of the significant hedgerows and trees have been retained and where there are losses, these are either compensated for or these are species not considered significant by the Landscape Officer. Semi mature trees are proposed within the site layout which would help soften the built form and provide a verdant character along the areas of public open space. The Landscape Officer has assessed the planting strategy and is satisfied with the planting at this stage. Further details in respect to planting can be secured by conditions 9-16 of the outline planning consent.

Masterplan conclusion

36) The design approach taken to inform the layout and appearance of the buildings is considered to respond well to the existing landscape features, context of the site and in respect to the surrounding area. The applicant has strongly demonstrated a comprehensive approach to the delivery of the houses under consideration through the application of the principles established in the design code within the layout and design choices of the units themselves.

37) Overall, it is considered that the proposal would not have a significant detrimental impact on the character of the area and is broadly in accordance with the principles of the relevant planning policies and supplementary planning advice.

Residential amenity: the impact upon existing neighbouring properties

38) Core Strategy policy CP3 requires that new development should be of a high quality of design that does not cause detriment to the amenities of adjoining land users. Policy 2 of the Shinfield Parish Plan seeks to ensure that new development does not harm existing residential amenity. Separation standards for new residential development are set out in section 4.7 of the Borough Design Guide.

Nos 1- 5 Silchester Place

39) The proposed layout incorporates a landscape buffer and ditch towards adjacent to these houses which helps maintain a good degree of separation. For No.1 and 3, there is 24m rear to flank separation to plot 374. This is well in excess of the 12m rear to flank separation recommended by the Borough Design Guide. The garage for plot for 373 backs onto No.3 however there would be 25m separation to this structure from the rear of No.3. With regards to No.5, there is 35m rear to rear separation to plot 373 which is in excess of the 22m outlined in the Borough Design Guide.

Basingstoke Road

40) The landscape buffer mentioned above, together with deep gardens for the existing houses that back onto the site on Basingstoke Road means that the 22m back to back distance outlined in the Borough Design guide is met to each house and generally well exceeded along Basingstoke Road.

Mitford Close

41) No's 5-10 Mitford Close back onto the flank wall of plot 289. There is however a minimum of 17m between this plot and the rear walls of No.5-10 Mitford Close which is in excess of the 12m rear to flank distance recommended in the Borough Design Guide.

Church Lane

42) Most of the dwellings would back on to the existing residential development on Church Lane and there is over 40m back to back separation to the new houses. This exceeds the 22m back to back guidance. Plot 282 would side onto Woodside but there is 30m back to flank separation well in excess of the 12m flank guidance and there are no flank windows proposed in this elevation.

43) Plot 277 would side onto Woodside. The new dwelling would be set in some 5m from the main flank wall of this house and whilst there are windows in the side elevation, these are secondary openings. There is a window in the flank wall at third storey level that would face onto plot 277 however with the height and roof pitch of the proposed dwelling together with the separation this relationship prevents an overbearing or loss of light impact. Similarly with the coach house proposed for plot 279 the orientation of this house together with the level of separation would prevent any significant amenity

impact.

44) In respect to the Thatch, there is 25m separation between this and the flank wall of plot 433. This is in excess of any of the standards outlined in the Borough Design Guide and the relationship is considered acceptable.

45) As outlined above the development is in accordance with the separation standards outlined in the Borough Design Guide. Where there is no prescribed standard, a comparable relationship has been applied. Given these factors and the onsite conditions, it is considered that there would be no significant issues arising in terms of loss of light, overbearing or overlooking. Planning conditions 11-12 will ensure that this relationship remains in the future.

46) Given these relationships and the onsite conditions, it is considered that there would be no significant amenity impacts to existing residents in terms of overlooking, loss of light and overbearing.

Residential amenity – noise

47) Whilst it is acknowledged that there would be a greater level of activity in the area arising from the delivery and future occupation of the housing, this would not be to an extent that is unusual in a residential area. As the site has been identified as being suitable for housing, the principle of residential development in this area has been established. Construction activities would be temporary and in order to reduce the impact for the surrounding residents, these can be controlled by conditions 11 and 12 attached to the outline planning consent. It is considered that the proposal would not result in any significant harm to the amenity of the existing residents and is in accordance with policies CP1 and CP3 and supplementary planning guidance.

Residential amenity: the amenity of future occupants of the development

48) The Borough Design Guide and MDD LP policy TB07 set out minimum thresholds for private amenity space and internal space standards which new residential development should be assessed against.

Private amenity space

49) The Borough Design Guide sets a minimum garden depth of 11m. In terms of the submitted masterplan, the proposed layout complies with these requirements. Overall, with the level of outdoor amenity space is considered to provide acceptable levels of private amenity space and privacy for the future occupants of the dwellings.

Internal Space Standards

50) With respect to internal floor space of the units, the Borough Design Guide and Policy TB07 of the MDD LP establish internal space standards for new dwellings, setting standards for both the gross internal area (GIA) and the minimum combined area of the living, kitchen and dining spaces for houses. All the proposed units either meet or exceed the minimum internal space standards and the combined living, kitchen and dining area specified in policy TB07. This will ensure an appropriate standard of living and amenity will be enjoyed by future occupiers of the dwellings.

Security

51) The layout takes into account security and all of the communal areas of open space are well overlooked by the proposed housing, as are the areas of parking. The layout also means that there are back to back relationships which restricts access to private

amenity space. The layout and design are considered acceptable.

Noise

52) Core Strategy Policy CP1 and MDD LP Policy CC06 direct development away from areas where noise would impact upon amenity and require mitigation where noise cannot be completely avoided.

53) The Environmental Statement submitted for the outline planning permission established that the main sources of noise for the application site were Church Lane, the M4 Motorway and the A33. For the M4 motorway and A33 due to the level of separation to these routes, there is suitable buffers to overcome any significant noise impact. For the Church Lane which has more of an impact for the dwellings fronted this road, facade treatment and acoustic glazing is proposed for these houses which will mitigate the impact of road noise. On this basis there should be no significant impacts to the occupants of the proposed dwellings. In terms of noise within the development, this would not be at a level that is unusual in a residential area.

Sustainable Design and Construction

54) Core Strategy Policy CP1 requires development to contribute towards the goal of achieving zero carbon development by including on-site renewable energy features and minimising energy and water consumption. MDD LP policies CC04, CC05 and the Sustainable Design and Construction Supplementary Planning Document (May 2010) also emphasise this. Policy 3 of the Shinfield Parish Neighbourhood Plan also echoes these principles.

55) The Design and Access Statement makes a commitment towards sustainable design and construction. In order to ensure that this commitment is achieved and in accordance with the requirements part L of the building regulations. The council seeks both fabric first approach (such as housing insulation and low energy appliances) and on site renewables and as such, it is not necessary to duplicate by way of condition.

56) As part of delivering sustainable development on the site, the Council expects measures to reduce water consumption to be included within the development. In the case of water, this can be achieved by the inclusion of aerated taps, shaped low capacity baths, dual flush toilets, low flow rate showers and the provision of water butts. Again building regulations covers this aspect and a condition is not required.

Access and movement

57) The outline planning permission for Shinfield West established the access points to the site and was accompanied with a full Transport Assessment. This included modelling the impacts of the development by using the Wokingham Strategic Transport Model which included a review of this development site, the South of the M4 SDL and the wider Core Strategy development proposals. It was demonstrated that there would be no significant harm caused by additional houses to both local and the wider transport networks, subject to the delivery of the Transport Interventions that were identified and secured through a legal process. The current reserved matters application does not deviate from the established access points approved under the outline planning application.

58) Policy 4 of the Shinfield Parish Neighbourhood Plan requires development to provide good accessibility by car, cycle and foot and ensure highway safety. Encouragement of use of public transport is also promoted. Policy 5 of the Shinfield

Parish Neighbourhood Plan sets out parking standards. These should be in line with WBC standards and well set out with good surveillance to parking courts.

Site Access

59) The proposed site access roundabout was approved at the Outline planning application. It will have four arms with the northern arm connecting into the site and will include pedestrian and cycle facilities and a formal crossing of Church Lane.

60) A northern site access is also proposed for pedestrians, cycles and emergency vehicles only. This provides a more direct connection to Basingstoke Road via the 'cul-de-sac' access past Silchester Place.

Access and movement - Site layout

61) As outlined above, the use of character areas ensures that there is a variety of street hierarchy proposed for the site. The principal access to the site is from the south off Church Lane in accordance with the access agreed for the outline consent. The Main Street / Spine Road through the site have been designed to be 5.5m wide. Footways along the spine road are 2m wide on both sides in order to separate pedestrians from traffic movements.

62) The Side Streets would be served by a mixture of tertiary streets, shared surfaces and private drives. The shared surface and private drives are short in length and have tight corners which will ensure low vehicle speeds within these zones. They have been checked that the tracking is acceptable for refuse and larger vehicles. Road widths are considered sufficient and there is adequate parking on site to prevent obstruction of the highway. All internal roads will carry a 30mph speed limit, although through design features and use of materials vehicle speeds will be low.

Access and movement - Car parking

63) In line with Core Strategy Policy CP6, *Managing Travel Demand* and MDDLDP Policy CC07: *Parking*, condition 40 requires reserved matters to incorporate car and motorcycle parking in line with the Council's standards. The standards require allocated parking to be supplemented with unallocated parking.

64) The application car parking numbers are summarised in the Table 2 below. This shows a gross total of 476 parking spaces, almost three per dwelling (2.72), although this includes garages and visitor spaces. There are 314 allocated spaces, 64 visitor spaces and 98 garages. Some 55% of dwellings have a garage, of which 1 is a double garage.

	nos	ratio of 175
Total Visitor	64	0.37
Total Allocated	314	1.79
Total Garages	98	0.56
Total Allocate & Garages	412	2.35
Total Visitor, allocated & garages	476	2.72
Total Tandem Parking	85	0.49

Table 2: Summary of Car Parking Provision

	With Visitors		Allocated (excluding visitor)	
	spaces	ave / unit	Spaces	ave/unit
Total spaces: allocated, garages & visitor	476	2.72	412	2.35
Total spaces with 50% for garages	427	2.44	363	2.07
Total spaces with 0% for garages	378	2.16	314	1.79

Table 3: Further Analysis of Car Parking Provision

65) Average allocated parking per plot is 2.44 with garage parking assumed to be used at 50%. The scheme has been tested against WBC policies and the car parking calculator and is broadly in accordance with standards. It is just 2 spaces short, but with 98 extra garages available it is considered that the level of provision is satisfactory and the amount of parking is proportionate to the size of dwelling that it is intended to serve.

66) The majority of parking is provided on plot with some designated parking spaces provided in bays. The proposed allocated parking within bays is located in relation to the dwelling it is intended to serve. Parking spaces on the driveways have been set out so if an additional vehicle parks then footways are unlikely to be blocked. The 64 visitor parking spaces are well distributed through the development and this is provided in bays or shared surface areas which are off-set from the carriageway to reduce the level of on carriageway parking. Note that no differentiation in layout for visitor and unallocated bays was considered necessary, although the WBC parking calculator did identify 31 as unallocated and 35 visitor.

67) On this basis, the level of parking provided should limit demand for potential on street parking throughout the development.

Access and Movement – Pedestrian & Cycle Access

68) The layout provides for pedestrian access with 2m footways on both sides of the main access road within the site. The side roads are tertiary streets which include footways that connect to adjacent areas or shared surface for the minor accesses. Connectivity is an important feature of Three Mile Cross with for example vehicle cul-de-sacs having a through route for pedestrians and connections to and through the linear park and the northern access to Basingstoke Road. Safe routes to school are identified which route out of the site along the segregated shared pedestrian & cycle links or the 2m footway onto and along the footway on Church Lane and towards Oakbank School on Hyde End Lane.

Access and Movement - Cycle storage

69) Consistent with Core Strategy Policies CP1, *Sustainable Development* and CP6, *Managing Travel Demand*, which expect development to make provision to support sustainable travel, Condition 41 of the outline planning consent requires cycle storage in line with the Council's standards at the time. These are set out in MDDL *Appendix 2*: the requirement is for provision of at least one cycle space for dwellings with three or fewer habitable rooms, two spaces for dwellings with four or five habitable rooms and three cycle spaces for larger dwellings.

70) Cycle parking is provided within sheds for houses where there is no garage

provision and parking stores for flats. Where dwellings have garage, they comply with the minimum dimensions for cycle parking of 3m by 7m. All dwellings have been provided with sufficient space for cycle storage / parking in accordance with the above requirements. Cycle visitor space 'Sheffield Stands' near the entrance to each block of flats are also provided.

Access and Movement - Access to public transport

71) A South of M4 Public Transport Strategy is expected to provide up to a 15 minute each way frequency bus service that operates in a loop in and out of Reading along the A327 or A33 corridors. This frequency of service on Basingstoke Road will help to make the bus an attractive service for many destinations.

72) The application has two pairs of bus stops on Basingstoke Road located within a desirable walking distance for most of the development. Whilst some housing is over 400m from a bus stop, a good quality high frequency service can still attract users. With a high frequency bus service, improved pedestrian and cycle connectivity and the delivery of the Council's My Journey Travel Planning initiative there are good sustainable alternative modes of transport available to the new residents other than the private car.

Flooding and Drainage

73) Core Strategy Policy CP1 and MDDL Policies CC09 and CC10 establish that new development should avoid increasing and where possible reduce flood risk (from all sources) by first developing in areas with lowest flood risk, carrying out a Flood Risk Assessment (FRA) where required and managing surface water in a sustainable manner. These requirements are reinforced by the South of the M4 SPD Design Principle 1c(ii) which requires provision of a comprehensive system for water management, which takes account of existing features and includes proposals for effective sustainable urban drainage (SUDS), measures to avoid flood risk and new ponds. Policy 8 of the Shinfield Parish Neighbourhood Plan echoes these principles and looks to retain existing watercourses in new development.

74) The site is entirely in Flood Zone 1 where the risk of flooding is low and all uses, including more vulnerable residential uses and less vulnerable uses (the proposed school, shops and community uses) are appropriate. Furthermore, the site was allocated in the Core Strategy, which was subject to a Strategic Flood Risk Assessment.

75) The outline application was supported by a Flood Risk Assessments which assessed the impact of flooding on the application site. This identified flood risks across the whole site and propose measures to manage surface water runoff including the 1 in 30 year and 1 in 100 year storm events (+30% for climate change) for the areas of residential development.

76) In order to ensure that the increase in surface water runoff associated with the additional built form is managed, a strategic approach to drainage is proposed. This included 2 SUDS ponds in the strategic greenspace. Additional drainage management is also proposed with the formation of two new ditches to the west and east of the site. These will not only attenuate storm water on site and control the discharge but will also provide landscaping features.

77) The Flood Risk Assessment and Drainage strategy propose measures on site have

been assessed by the council's Drainage Officer. They have raised no objection to the proposed package of measures in terms of the impact to existing neighbouring residents and future occupiers of the site. On this basis the proposals are considered acceptable.

Thames Basin Heaths Special Protection Area

78) The Thames Basin Heaths Special Protection Area (SPA) was designated under European Directive due to its importance for heathland bird species. Core Strategy policy CP8 establishes that new residential development within a 7km zone of influence is likely to contribute to a significant impact upon the integrity of the SPA. The South of the M4 SDL falls within this zone of influence and, in accordance with Core Strategy policy CP17 and Design Principle 1c (vi), mitigation in the form of Suitable Alternative Natural Greenspace (SANG) is being provided.

79) The development will be mitigated by the provision of the SANG strategy approved under the outline planning consent which will provide three areas of SANG. The implementation of this is controlled by conditions 62 and 63 of the outline planning permission and the area of SANG has been designed to provide sufficient space required for the proposed units. Full planning permission has been approved for the SANG areas and as such this meets the Natural England's '*Guidelines for the Creation of Suitable Alternative Natural Greenspace*' (SANG) (2008) in terms of having all the essential features required to attract recreational users away from the SPA. Natural England and the Biodiversity Officer are satisfied with this approach.

Ecology

80) Core Strategy Policy CP7, carried forward by MDD LP Policy TB23, requires appropriate protection of species and habitats of conservation value. Policy 7 of the Shinfield Parish Neighbourhood Plan seeks mitigation and measures to enhance biodiversity. Design Principle 1b of the South of the M4 SPD (i-ii) is concerned with protection of ecological habitat and biodiversity features, together with mitigation of any impacts that do arise. The proposal includes a large area of land to the north of the application site as an ecological mitigation area and submitted a detailed Ecological Mitigation Strategy. This demonstrates that the site layout has considered impacts on ecological permeability. In addition no advisee impacts are envisaged to flora and fauna and a detailed mitigation strategy has been provided.

81) In terms of existing vegetation, the applicant has demonstrated that there would be an adequate buffer zone from the proposed development to these features. The Biodiversity Officer has assessed the application and is satisfied that there would no significant impact on ecology.

Heritage

82) Policy TB24 of MDD LP policy seeks to ensure that development conserves and, where possible enhances the important character and special architectural or historic interest of listed buildings. The nearest listed building to the development site is The Thatch. There is a good buffer provided by the landscape strip adjacent to The Thatch which means that there would be over 20m separation to the curtilage of The Thatch from the nearest proposed house. This is considered acceptable and would not have a significant adverse impact on the character and setting of the listed building.

Archaeology

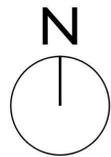
83) Core Strategy Policy CP3 and MDD LP Policy TB25 require the archaeological impact of development to be taken into consideration. Condition 43 relating to archaeology was attached to the outline permission for a written scheme of investigation prior to the commencement of development and this approach is supported by the Council's Archaeological Officer.

CONCLUSION

The reserved matters are consistent with the principles and parameters established by the outline planning permission, which themselves reflect the Council's adopted policies and those within the Shinfield Parish Neighbourhood Plan and guidance for development within the South of the M4 SDL. It is considered that the applications will deliver high quality development in accordance with the Council's spatial strategy and vision and therefore can be recommended for approval.

CONTACT DETAILS

Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk



TAYLOR WIMPEY 175
THREE MILE CROSS

SCHEDULE OF DWELLINGS

REF	DESCRIPTION	NO	SQ_FT (GROSS)	SQ_M (GROSS)	TOTAL
PRIVATE					
PB52	5 BEDROOM TOWNHOUSE	17	1759	163	29903
PB41G	4 BEDROOM TOWNHOUSE	12	1252	116	15024
PT42	4 BEDROOM HOUSE	9	1222	114	10998
PA44	4 BEDROOM HOUSE	5	1170	109	5850
PB30G	3 BEDROOM TOWNHOUSE	32	1085	101	34720
936	3 BEDROOM HOUSE	18	936	87	16848
PT36	3 BEDROOM HOUSE	8	931	86	7448
PT37	3 BEDROOM HOUSE	3	931	86	2793
908	2 BEDROOM HOUSE	12	908	84	10896
Block A	2 BEDROOM FLAT	2	763	71	1526
	2 BEDROOM FLAT	4	751	70	3004
Block B	1 BEDROOM FLAT	6	551	51	3306
	1 BEDROOM FLAT	6	546	51	3276
Block C	2 BEDROOM FLAT	1	735	68	735
	2 BEDROOM FLAT	1	687	64	687
Block D	2 BEDROOM FLAT	2	754	70	1508
	2 BEDROOM FLAT	4	742	69	2968
Block E	2 BEDROOM FLAT	3	843	78	2529
	2 BEDROOM FLAT	3	751	70	2253
	2 BEDROOM FLAT	3	551	51	1653
2BCH	2 BEDROOM COACH HOUSE	7	720	67	5040
617	1 BEDROOM COACH HOUSE	2	617	57	1234
SUB TOTAL		160			164199
AFFORDABLE					
938	3 BEDROOM HOUSE	4	938	89	3752
892	2 BEDROOM HOUSE	5	892	85	4460
Block A	2 BEDROOM FLAT	2	754	72	1508
	2 BEDROOM FLAT	4	742	72	2968
SUB TOTAL		15			12688
GRAND TOTAL		175			176887

INSET @ 1:2000

Scale 1:500
 Scale 1:1000
 Rev: Date: Drawn: Checked:
 V 14.02.17 TDT JJC
 PLOT 2/9 ROTATED.
 T 09.02.17 SLT BB
 AMENDED TO CLIENTS COMMENTS
 Date: MARCH 2016
 Drawn by: TDT Checked by: BB
 Dig No: CB_31_05_02 Rev: V
 Project: CHURCH LANE
 THREE MILE CROSS
 Title: PLANNING
 LAYOUT
 Client: Taylor Wimpey
 COOPERBALLE

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CHURCH LANE, THREE MILE CROSS
VIEW FROM CHURCH LANE TOWARDS PLOTS 430 - 433, 436 - 438 & 439 - 447

**Taylor
Wimpey**



COOPERBAILIE



CHURCH LANE, THREE MILE CROSS
VIEW ALONG MAIN ROAD TOWARDS PLOTS 402 - 407 & 423 - 428

**Taylor
Wimpey**



COOPERBAILIE



87

CHURCH LANE, THREE MILE CROSS
VIEW FROM WEST CORNER TOWARDS PLOTS 344 - 350 & 351 - 354

**Taylor
Wimpey**



COOPERBAILIE



CHURCH LANE, THREE MILE CROSS
VIEW OF SOUTH WEST CORNER TOWARDS PLOTS 280 - 286 & 306 - 307

**Taylor
Wimpey**



COOPERBAILIE

Observations from Shinfield Parish Council – 10/11/2016

162829

Proposal

Land North of Church Lane, Three Mile Cross

Application for Reserved matters application for 175 dwellings including internal access roads, garages, parking places, open spaces, allotments, Multi-Use Games Area (MUGA) and Locally Equipped Area of Play.

Planning Officer

Christopher Howard Comments by 21 November 2016

Comments

Shinfield Parish Council request that a residential 20 MPH zone be created for the development from the outset. The Parish Council requests that parking enforcement be managed by the developer from first occupation, until the roads are adopted by the Borough Council.

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Agenda Item 105.

Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
163385	8/13	Finchampstead	Finchampstead South	WBC application/Major application

Applicant Location Sarah Dukes. Wokingham Borough Council.
Longmoor Lake, California Country Park. Nine Mile Ride. Finchampstead. RG40 4HU. **Postcode** RG40 4HU

Proposal Full planning application for the installation of vehicle overrun strips along the access road, formalisation of the existing car park and the construction of new car parks creating a total of 301 bays including disabled and public carrier vehicle bays, the removal of 73 trees and the planting of 85 trees, and erection of the tensile tent canopy adjacent to the Café, with associated provision for street furniture, lighting and landscaping, replacement of underground pumping station, upgrading of power supply with associated distribution boxes.

Type Major All other developments
PS Category 006
Officer Katie Herrington

FOR CONSIDERATION BY Planning Committee on 1st March 2017
REPORT PREPARED BY Head of Development Management and Regulatory Services

SUMMARY

The proposal forms part of a wider objective to improve the facilities within the park.

The application proposes to upgrade the infrastructure within the park, including formalising and extending the car parking facilities, new street furniture and improvements to the access road, in response to the increasing demand for use of the park.

The proposal forms part of a wider strategy to improve the parks facilities (not all of which is covered by this application). The current infrastructure within the park is not meeting current demands despite the introduction of a one way system. The principle issue insufficient parking capacity within the Country park to accommodate such demand during busy periods which include Saturdays and during the school holidays. The issue is that on some days the access into the park is being closed due to the existing car parking being full, resulting in vehicles parking on the nearby road network. Visitor demand into the site is likely to increase. The site is located within close proximity to the Arborfield SDL development and demand for the park is projected to increase as a result of this and the rise in the population of Wokingham generally.

The proposal increases the capacity of the car park to better accommodate demand during these busy periods and plans for the increased parking demand as a result of the neighbouring SDL development and increase in the population generally. The proposal does this by improving the access road by resurfacing it and providing vehicle over-run strips to allow vehicles to more easily pass each other.

The proposal formalises and increases the size of the existing car parking areas to the rear of the Café/restaurant and the eastern car park, and proposed a new car park and an overflow car park to the south.

The car park currently located to the side of the café is removed and replaced with a hard and soft landing scheme. A canopy is proposed to the side of the Café that would cover additional outdoor seating.

PLANNING STATUS

- SSSI 500M
- Badger Sett Consultation Zone
- SPA 5KM and &KM
- Public open Space
- Countryside

RECOMMENDATION:

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following conditions and informatives:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).
2. This permission is in respect of the submitted application plans and drawings numbered ASA-406-DR-001 Rev E, ASA-406-DR-002 Rev C, ASA-406-DR-003 Rev B, ASA-406-DR-005 received by the local planning authority on 16/02/2017. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.
Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.
3. The materials to be used in the construction of the external surfaces of the extension hereby permitted shall be those as stated on the approved plans.
Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy: Core Strategy policies CP1 and CP3
4. Prior to commencement of the approved car park details of a drainage system for the site shall be submitted to and approved in writing by the local planning authority. The details shall include:
 - A 40% assessment for climate change to be included within the calculations to ensure that flood risk on or off site is not increased.*Reason: This is to ensure that the development does not increase flood risk on or off site.*
5. Prior to the commencement of development of the proposed car park, full details of both hard and soft landscape proposals shall be submitted to and approved in

writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development)

6. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

7. Prior to the completion of the car park hereby permitted details of secure and covered bicycle storage/ parking facilities for the users of the park shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved within 3 months of the first use of the new car park development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

8. Details of the proposed street furniture (tables and chairs, 'bar', bollards and lighting columns) shall be submitted to and approved in writing by the local planning authority. The stated street furniture shall be implemented in accordance with such details as may be approved.

Reason: for clarity and in the interest of the character of the area. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1,

CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

9. Prior to any works commencing a detailed strategy for reptile and glow worm mitigation and compensation in line with the outline recommendations given in the submitted Ecological Assessment (Anthony Stiff Associates, Issue 01, November 2016) shall be provided to the local authority for approval. Once approved the strategy shall be implemented in full unless otherwise agreed by the local authority in writing.

Reason: To ensure that the proposal is in accordance with the Wildlife and Countryside Act 1981 (as amended), Section 41 NERC Act re. UK Biodiversity Action Plan Priority Species (Species of Principal Importance), and complies with Planning Policies for Wildlife including CP7 of the Wokingham Borough Core Strategy (2010), and the National Planning Policy Framework.

10. Prior to the installation of any lighting, a “lighting design strategy for biodiversity” for light sensitive species, that also considers the impact of lighting upon residential amenity shall be submitted to and approved in writing by the local planning authority. The strategy shall:
- a) Identify those areas/features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used to access key area of their territory, for example for foraging; and
 - b) Show how and where external lighting will be installed so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.
 - c) Clearly specify the type of lighting and lighting spread proposed to establish its potential impact upon residential amenity.
 - D) Specify hours of illumination.

All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. No other external lighting shall be installed without prior consent from the local planning authority.

Reason: To maintain favourable conservation status of the site for protected species and species of principal importance.

Informatives

1. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.
2. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:

- Amending plans relating to concerns with impact upon residential amenity
The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

PLANNING HISTORY

F/2014/2293	Application for the erection of a single storey rear extension to provide enlarged kitchen (Retrospective). 2/12/2014
F/2003/8771	Proposed change of use of teaching building to use for visitor centre with catering services (A3). Approved. 20/06/2003.
29141	Approval of a single storey interpretation centre to replace demolished existing outbuildings.

SUMMARY INFORMATION

Site Area	3.42 Ha
Existing use	Country Park (D2)
Proposed use	No change. Country Park (D2)
Existing parking spaces	Approximately 150-180 bays (Informal/unmarked bays)
Proposed parking spaces	301 bays including 21 disabled bays and 4 coach bays
Cycle bays	42 Bays – 24 in the 'North car park' 18 bays in the lower car park.
Motorcycle bays	7
Trees proposed to be removed	73
Trees proposed to be replanted	80

CONSULTATION RESPONSES

Thames Water	No comments received.
WBC Biodiversity	No objection subject to condition 10 and 11.
WBC Environmental Health	No objection subject to condition 10.
WBC Drainage	No objection subject to condition 4
WBC Conservation & Listed Building	No comments received.
WBC Highways	No objection
WBC Tree & Landscape	No objection subject to conditions 5 and 6
WBC Waste Services	No comments received.

REPRESENTATIONS

Finchampstead Parish Council:

- Traffic calming measures on the access road are unclear (See **paragraph 17**)
- Areas for the new parking are currently used by the Scout Group and would

curtail their activities

- Letter from resident suggests that the Park boundaries are incorrect (*the site plan has been amended*)
- The Parish has concerns with the 'funky seating' and features planned for the area around the Café. (*The seating area is being dealt with by of **condition 8**, it is understood that the park and Parish are discussing the matter*)
- Extension of parking area close to the hut would create a safeguarding issue – require fencing or other means to ensure the safety of young people (see **paragraph 18**)
- Seek assurance that people dropping off and collecting young persons would be exempt from the parking charges (*Parking charges are not relevant to the determination of this application.*)

Local Members: No comments received

Neighbours: 19 objections;

- Boundaries are not drawn correctly (*the site plan has been amended*)
- Not been consulted – (*the green inline of the consultation map is drawn within a statutory specified distance and an advert is placed in the local newspaper*)

Impact upon residential amenity

- Issues of noise (day and night), privacy, lighting and wildlife (See **paragraph 30-39**)

Impact upon the users of the scout hut

- Proposed parking will take up the space (west of the hut) used by the scouts (See **paragraph 41**)
- Want less parking more green space can't parking be put to the east of the site away from scout hut? (*Officer comment : the committee can only consider the application before them*)
- Issues of safeguarding as people will be close to the scout hut
- Increased traffic would make safety more challenging (Scout hut). Require traffic calming measures by the scout hut.(See **paragraph 17**)

Ability for the park to accommodate increased visitor numbers

- Park facilities (café and playground) can't accommodate for proposed number of visitors.
- Shouldn't expenditure be better placed improving facilities? including activities to draw visitors to other parts of the site.
- No public toilets proposed – what happens when the café is shut?
- Beauty of the park is that you can move around it without being swamped by visitors.
- No improved planning for improved toilet facilities for number of to the park.
- Too many parking spaces for the activities (See **paragraph 15 and 16**)
- Money should be spent elsewhere (*Issues of funding is not relevant to the determination of this application*)

Officer comment: Further improvements of the facilities of the site do not form part of this application but are understood to be under consideration by the park.

Highway issues

- Money wasted on large and underused car park – should be promoting cycling instead. (See **paragraph 15-21**)
- Two-way system is dangerous compared to one way system. (See **paragraph 17**)
- No motorcycle bays (*7 motorcycle bays have been provided on the revised plans*)
- The access road will need improvement to accommodate additional traffic (**See paragraph 15 - 17**)
- Car park does not make good use of space needs to be conservative (See **paragraph 22 – 28**)
- There would be an increased impact upon the local highway (See **paragraph 15 - 16**)

APPLICANTS POINTS

- Over a number of years customer consultation has highlighted the need for improved and visitor welcome arrangements at the Country Park both in terms of condition and space availability.
- We do not have enough capacity within the Country Park for busy days it is not unusual to have to effectively close the country park access road during the summer season thereby introducing car parking onto the nearby road network. The situation is set to get worse with the growth of the population of the borough notwithstanding the efforts to promote sustainable transport.
- A survey carried out in 2008 shows that most people travel by car (73%). In this respect and there needs to be a car management plan: parking needs to be perceived to be safe and accessible while at the same time the impact of cars on amenity is reduced.

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP11	Development outside Development Limits.
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development

	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk
	CC10	Sustainable Drainage
	TB21	Landscape Character
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 7

PLANNING ISSUES

Description of Development:

1. Such improvements to the infrastructure of the park forms part of a wider scheme to improve the facilities within the park which is not covered by this proposal.
2. The scheme is to enable the upgrading of the park infrastructure within California Country Park including formalising and increasing the parking provision on the site, improvements to the access road, new hard and soft landscaping and a tensile canopy over seating associated with the Café/ restaurant.
3. The existing car parking areas (east car park and north car park) are to be formalised and extended.
 - a. The East car park will have 33 spaces including 6 disabled bays.
 - b. The North car park will have 85 spaces including 6 disabled bays.
 - c. The parking area to the side/ front of the Café is to be removed and replaced as part of a seating area.
4. Two new car parks are to be formed to the west and the south of the site.
 - a. The lower car park would provide 98 parking spaces including 7 disabled bays and 4 mini-bus bays. An overspill park would provide an additional 76 spaces.
 - b. The mid car park would provide 19 spaces including 2 disabled bays.
5. There is an existing track leading to the west of the site linking to the staff parking area to the rear of the café/ restaurant. This track is proposed to be modernised to include paths, an asphalt road with 'over run' strips to allow vehicles to pass each other and traffic calming. The existing road currently heading north towards the lake would be pedestrianised.
6. The proposal would include a canopy that would extend to an area of seating by the café/ restaurant. The existing car park adjacent to the café is to be removed and instead a scheme of hard and soft landscaping, including seating, is proposed.

7. Lighting and servicing is proposed, this includes;
- a. Illuminated bollards lining the access from Nine Mile Rise and the roadway linking the car parks
 - b. Illuminated bollards around the café area
 - c. A 5 metre lighting post at the junction to the access
 - d. 5 metre lighting posts in the North car park
 - e. An electric substation and associated servicing improvements.

Principle of Development:

8. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
9. The site is located outside of the development limits in the countryside and therefore policy CP11 applies.
10. Policy CP11 states that in order to protect the separate identity of settlements and maintain the quality of the environment, proposals outside of development limits will not normally be permitted except within the listed exemptions.
11. Exemption 1 relates to where the proposal would contribute to diverse and sustainable rural enterprises within the borough or in the case of other countryside based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside.
12. The proposal would contribute to and promote recreation in and enjoyment of the countryside. It would do this by enabling more people to enjoy the countryside which is achieved by improving the Infrastructure of the park. Such infrastructure including increasing the parking capacity of the car park (including an overflow car park), enhancing the access, improving the café/ restaurant area with a canopy and outdoor seating, providing picnic tables around the park, improving lighting and renewing the services (electric and water).
13. The demand for the use of the park is demonstrated through the data of visitor numbers in the Transport statement, which are during the school holidays and Saturdays is significantly higher than what the current parking arrangements could accommodate. In addition, the Arborfield SDL development is within close proximity to the site and it is projected that as a result visitor numbers would increase. Whilst improvement to the footpaths/cycle ways are proposed as part of a 'Greenway' which is currently under consultation (See Appendix 1) it is projected that most vehicle movements would be by car. The proposed car parking spaces relate to the projected demands of the park.
14. Therefore, in principle the proposal would comply with Core Strategy Policy CP11, subject to other material considerations as set out in the rest of this report.

Transport:

Impact upon the highway

15. California Country Park is experiencing issues with parking stress during the summer months to the extent that it is not unusual to have to effectively close the country park access road during the summer season, resulting in car parking onto the nearby road network.
16. The proposal would go some way to avoid this situation, but also improve the capacity of the park for its users. The proposal would therefore reduce the risk of congestion on the highway by improving the capacity of the car park. The council's highways officer has no objection to the proposal.

Concerns about highway safety

17. Concerns were raised with regard to the safety of the two-way system proposed and its proximity to the Scout Hut. The plans have been revised to show traffic calming measures around the vehicle access route to the car parks. In addition, the road is designed to encourage slower speeds. The winding nature of the access, the vehicle overrun strips and narrow width of the road, the changes in colour of road surface with the footpaths crossing the road are likely to control the vehicle speeds. The introduction of formal footpaths and designated roads and parking bays would improve highway safety beyond that which exists. As such the proposal would comply with policy CP6 of the core Strategy.

Issues of safeguarding

18. Concerns were raised that the proximity of the car park to the Scout Hut would result in issues of safeguarding. The scout hut is currently located in a public area which is accessible by foot and vehicle and is not fenced off in anyway. Therefore there would not be an increased issue with safeguarding as a result of the proposal.

Transport Sustainability

19. Some concerns were raised by residents and users of the park regarding the provision of parking within the proposal and the absence of a scheme to improve cycle / walking access into the park. Whilst substantial parking provision is provided for the park, there is a new 'Greenway' proposed that would provide pedestrian and cycle access through the site.
20. A new 'Greenway' (which is a continuous general traffic free multi user route) is currently under consultation that would link Finchampstead (the FBC Centre) to the homes in Arborfield Green (the former Arborfield Garrison) via California Country Park (See appendix 1 for further information).
21. The proposal also includes the provision of new cycle bays and pedestrian access through the site. The details of the cycle bays are dealt with by way of condition. As such the proposal would comply with Policy CP6 and CP3 of the core Strategy.

Character of the Area:

22. The development, due to its location within the park, would not have an impact upon the character of the street scene, but the proposal would have an impact upon the character of the Country Park and the verdant nature of the countryside.
23. Exemption 2 of Core Strategy Policy CP11 relates to development not leading to the excessive encroachment or expansion of development away from the original buildings.
24. The proposed tensile structure would project from the Café towards established areas including the Kiosk and existing parking area. The structure does not have sides and as such would be less visually intrusive. The canopy is a tensile structure that would not appear significantly out of keeping adjacent with the setting of the café/restaurant and the country park.
25. The proposed parking areas cover a larger area of the south and west of the site than the existing parking provision. The proposal has used a variety of materials and textures in order to both minimise the impact of the hardstanding/surfacing upon the otherwise rural and forested character of the country Park, whilst providing a suitable and all weather usable surface for vehicles and pedestrians.
26. The lower car park, middle car park, and eastern car park consist of a similar mix of materials. This includes a gravel grid, grass grids, and grassed areas and landscaping. The upper car park consists of block paving, granite setts, resin bound aggregates. The main access road is constructed of Asphalt with overrun strips of gravel grid.
27. Where possible, parking is located amongst the trees in gaps in their coverage to lessen the number of trees lost, but also the proposal incorporates the trees within the parking layout. As such, the proposal would comply with policy CP1, CP3 and CP11 of the Core Strategy.

Impact upon Trees

28. The proposal, in order to accommodate the proposed parking areas, involves the loss of some trees and replacement landscaping. The proposed car park would result in the removal of 73 trees and the planting of 85 replacement trees. The trees to be lost mostly consist of moderate to low category trees (34 in Category C and U, 17 in Category B/C, and 15 in Category B). The number of trees proposed to be replaced exceeds that lost which helps to partially mitigate the harm caused by the loss of these trees, but also that the landscape impact is reduced since more trees of a similar quality are being retained. The car parks have also been designed to fit within the trees where possible and designed to incorporate trees within the parking areas to help maintain the parkland character of the area.
29. The Council's Tree and Landscape officer has no objection to the proposal, but submitted landscape and planting plans require some alteration and therefore have been conditioned (See **condition 5 and 6**). The proposal would otherwise accord with policies CP1 and CP3 of the Core Strategy and TB21 of the

Managing Development Delivery Document.

Residential Amenities:

Overlooking, overbearing, and loss of light.

30. Some of the proposed parking bays of the lower car park would be located close to the units of the 'California Caravan Park'. The proposal has been revised to move some of the parking bays away from the boundary of the site. A native hedge and tree planting is proposed around this boundary in order to screen the car parking area from this residential area. Given such screening, there would be no loss of privacy and the proposal would not appear overbearing or result in a loss of light.

Pollution (noise, light and pollution)

31. Concerns were raised that the proposal would result in issues of noise, and light pollution.

Noise

32. Concerns were raised by the residents that the proposal would result in additional noise and light pollution.

33. The existing park car parks are open between 9 – 6pm Monday - Sunday. The restaurant which had a later opening is no longer in operation.

34. The North car park, accommodating 85 bays, is located next to the café/ restaurant and is likely to be used by the users of the restaurant given its proximity. The lower car park is located closest to residential units of the California Country Park Home site.

35. The lower car park has been revised to remove the bays closest to the residential unit's number 58, 59, and 60 to reduce the impact of the vehicles in terms of light and noise.

36. Plots 58 and 59 are located adjacent the overflow car park area. This is to be used in peak times as an overflow car park which is normally during the summer and is likely to be restricted to day light hours. It is considered that additional noise generated would be limited and would be partially dampened by the proposed boundary treatment. The proposal would not result in a significant adverse impact to residential amenity by way of noise.

Light pollution

37. The proposal includes lighting columns along the access road from Nine Mile Ride along the formalised road to the car parking areas and around the North car park and café area. The lighting along the access road from Nine Mile Ride and along the formalised access consist of bollards balled 'A' light spread that is concentrated close to that bollard and therefore would not result in light pollution to the residents. There is a lighting column labelled B at the junction close to the eastern car park. This is a 5 metre post top lantern with a wider light spread.

However, such light spread would not result in light pollution to the adjoining residential occupiers the lamp type can be secured by condition (See **condition 10**).

38. Issues of light pollution to the residents of the California Country Park Home site would be limited given the condition to limit the hours of illumination, and proposed landscaping.

39. As such there would not be a harmful impact. As such, the proposal would comply with policy CP1 and CP3 of the Core Strategy.

Ecology:

40. The proposal has been assessed by the council's ecologist. The submitted ecological survey has made outline recommendations for reptile and glow worm mitigation during construction, whilst broadly acceptable more information is required. This has been addressed by **condition 10**.

Other issues:

The scouts use of the area to be taken up by the car park

41. Concerns were raised that the proposal would take up some of the area currently used by the Scouts during their activities. This is an issue which falls outside the scope of planning for it relates to specific lease agreement between the Scouts group and the Country Park. However, it is understood that the Scouts use the area of grass to accommodate the car park informally and it does not cover part of their lease. The area is currently used as overflow car parking and all this project does is to formalise this use and to increase the capacity.

Drainage.

42. The proposal site is located within Flood Zone 1. The application was accompanied with a drainage/flood risk assessment. The Council's Drainage Officer has no objection to the proposal and the general principles within the flood risk/drainage report, but requires some additional information. This can be dealt with by way of condition (Condition 4).

Community Infrastructure Levy:

43. As the proposal is for the formal creation of a car park and other infrastructure, it would not constitute CIL liable development.

CONCLUSION

The application is considered to be acceptable in principle as it would result in a development that would promote recreation and enjoyment of the countryside. The proposal has been designed to not result in the harmful encroachment of development into the countryside, and has been designed to minimise its impact upon the character of the park.

The proposal seeks to improve its infrastructure in order to accommodate both existing demand and future demand of the park. The design of the parking and associated access road would not result in issues of highway safety. The proposal would not result in harm to residential amenity, would not result in harm to wildlife, and would not result in issues of surface water flooding.

As such, the proposal is considered to accord with local and national planning policy and is therefore recommended for approval.

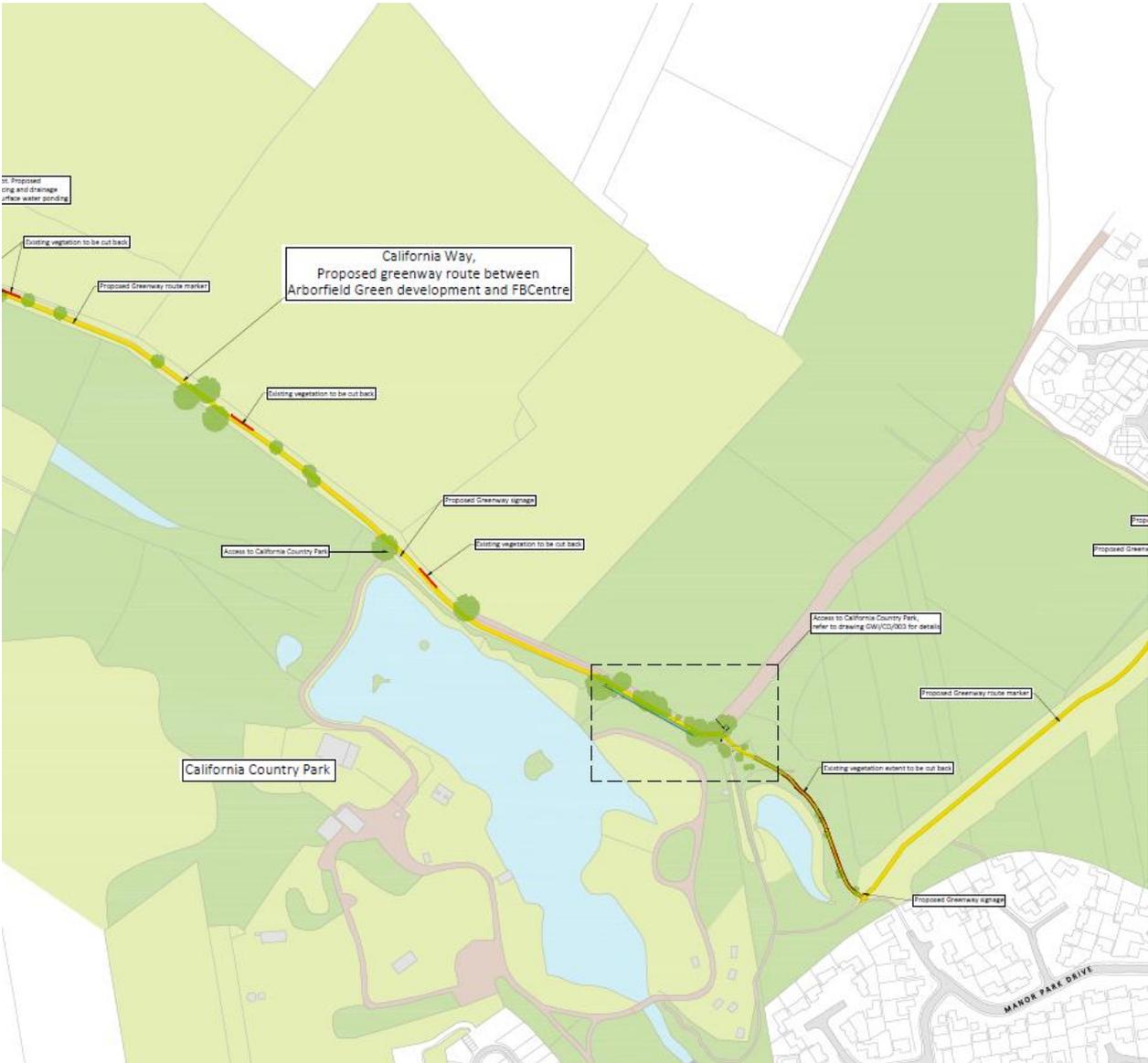
CONTACT DETAILS		
Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

Appendix 1

Link to the Greenways Phase One document

<http://www.wokingham.gov.uk/news-and-consultation/consultation-and-having-your-say/current-consultations/?entryid206=415851>

Excerpt of Map 'Greenways overview of California Way' demonstrating consulted 'Greenway' into California Country Park



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Lower Car Parking:
 7 disabled spaces
 87 spaces
 4 mini-buses spaces
Total: 98 spaces



Overspill Car Parking:
 Total: 76 spaces

Mid Car Parking:
 2 disabled spaces
 17 spaces
Total: 19 spaces

SECTION AA
 scale 1:50

KEY

- Site boundary (for planning purpose)
- Asphalt
- Tar and chip
- Granite setts
- Permeable block paving
- Resin bound aggregates
- Gravel grid
- Mown grass
- Shrub bed
- Speed bumps
- Decking
- Sculptural pillar
- Grass grid
- Mixed native hedge
- Existing tree
- New planted tree
- Tree to be removed
- Picnic tables
- Grassed area

Do not scale from the drawing, use figured dimensions only.
 Levels and dimensions to be checked on site prior to commencement of work.
 All discrepancies to be reported to the landscape architect immediately.
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Project	CALIFORNIA COUNTRY PARK	
Description	Southern Car Parking Layout	
Scale(s)	1:10 @ 200 @ A1	Date 22 April 2016
Drawn By	LA	Checked By AS
Dwg. No.	ASA-406-DR-002	Rev. 0
Status	PLANNING	
Revision	No.	By
1	B	KB
2	LA	AS
3	LA	AS
4	LA	AS
5	LA	AS
6	LA	AS
7	LA	AS
8	LA	AS
9	LA	AS
10	LA	AS
11	LA	AS
12	LA	AS
13	LA	AS
14	LA	AS
15	LA	AS
16	LA	AS
17	LA	AS
18	LA	AS
19	LA	AS
20	LA	AS
21	LA	AS
22	LA	AS
23	LA	AS
24	LA	AS
25	LA	AS
26	LA	AS
27	LA	AS
28	LA	AS
29	LA	AS
30	LA	AS
31	LA	AS
32	LA	AS
33	LA	AS
34	LA	AS
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36	LA	AS
37	LA	AS
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48	LA	AS
49	LA	AS
50	LA	AS
51	LA	AS
52	LA	AS
53	LA	AS
54	LA	AS
55	LA	AS
56	LA	AS
57	LA	AS
58	LA	AS
59	LA	AS
60	LA	AS
61	LA	AS
62	LA	AS
63	LA	AS
64	LA	AS
65	LA	AS
66	LA	AS
67	LA	AS
68	LA	AS
69	LA	AS
70	LA	AS
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72	LA	AS
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81	LA	AS
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83	LA	AS
84	LA	AS
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93	LA	AS
94	LA	AS
95	LA	AS
96	LA	AS
97	LA	AS
98	LA	AS
99	LA	AS
100	LA	AS

ANTHONY STIFF ASSOCIATES
 LANDSCAPE ARCHITECTS
 11011 S. GARDEN BLVD., SUITE 100
 GARDEN GROVE, CA 92647
 TEL: 714.261.1111
 WWW.ANTHONYSTIFF.COM

Emergency turning area (R10m minimum)

File Ref: ASA-406-DR-002
 Dwg. No. ASA-406-DR-002



KEY

- Site boundary (for planning purpose)
- Asphalt
- Tar and chip
- Granite setts
- Permeable block paving
- Resin bound aggregates
- Gravel grid
- Grass grid
- Mixed native hedge
- Mown grass
- Shrub bed
- Sculptural pillar
- Decking
- Grassed area
- Existing tree
- New planted tree
- Tree to be removed
- Picnic tables
- Speed bump



<p>Key and hatching amended and motorcycle parking added. Changes to the car parking layout.</p>		<p>8 AC 10/02/2017</p>
<p>Revision description</p>		<p>29/02/2016</p>
<p>No. A. By LA Date</p>	<p>No. B. By LA Date</p>	
<p>PLANNING</p>		
<p>Project: CALIFORNIA COUNTRY PARK</p>		
<p>Description: Cafe Area and Car Parking</p>		
<p>Scale(s): 1 to 200 @ A1 Date: 22 April 2016</p>		
<p>Drawn By: LA Checked By: AS</p>		
<p>Do not scale from the drawing, use figured dimensions only. Levels and dimensions to be checked on site prior to commencement of work. All discrepancies to be reported to the landscape architect immediately.</p>		
<p>© Copyright Anthony Stiff Associates</p>		
File Ref:	ASA-406-DR-003	
Dwg. No.	ASA-406-DR-003	Rev. Date
	B	-

No	Trees	Girth	Root
26	Acer campestre 'William Caldwell'	16-18 cm	RB
21	Prunus serrula	16-18 cm	RB
7	Betula 'Edinburgh'	20-25 cm	RB
9	Betula pendula	18-20 cm	RB

No	Hedge Trees	Girth	Root
	Acer campestre 'William Caldwell'	12-14 cm	RB
	Betula pendula	14-16 cm	RB
6	Quercus robur	12-14 cm	RB
5	Tilia platyphyllos	12-14 cm	RB

No	Native Hedge	Size	Density	Root
119	Buxus sempervirens	40-60cm	6/m	RB
236	Corylus avellana	40-60cm	6/m	BR
254	Crataegus monogyna	40-60cm	6/m	BR
59	Ilex aquifolium	40-60cm	6/m	BR
236	Prunus spinosa	40-60cm	6/m	BR
59	Rosa canina	40-60cm	6/m	BR
119	Viburnum opulus	40-60cm	6/m	BR

Length	Ornamental Hedge	Height	Root
	Prunus lusitana	1.1-2m	CG
4.5m	Prunus lusitana	1.8-2m	CG

No	Specimen Shrubs	Size	Root
21	Buxus sempervirens - clipped	600mm Balls	CG

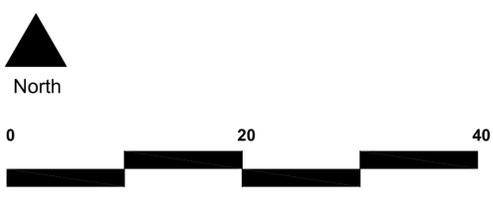
No	Shrubs	Pot Size	Density	Root
99	Erica carnea 'Pink Spangles'	3L	7/m ²	CG
47	Cornus alba 'Sibirica'	3L	5/m ²	CG
	Euonymus 'Emerald galety'	3L	7/m ²	CG
70	Juniperus squamata 'Blue Carpet'	3L	5/m ²	CG
	Vinca minor	2L	9/m ²	CG

No	Herbaceous	Pot Size	Density	Root
35	Bergenia 'Winterglow'	3L	7/m ²	CG
17	Crocus 'Emberglow'	single row	3L	6/m
83	Geranium 'Brookside'	3L	9/m ²	CG
251	Helleborus orientalis	2L	9/m ²	CG
76	Heuchera 'Lime Marmalade'	3L	9/m ²	CG
47	Heuchera 'Marmalade'	3L	9/m ²	CG
47	Heuchera 'Plum Pudding'	3L	9/m ²	CG
	Miscanthus sinensis 'Kleine Silberspinne'	staggered row	3L	6/m
42	Papaver orientale 'Leuchfeuer'	single row	3L	3/m
	Pennisetum villosum	staggered row	2L	10/m
55	Persicaria			
124	Stipa tenuissima	dbl staggered	2L	15/m

Grass area	
Mown grass area to be turfed with Tillers RTF.	
Grass grid area to be seeded with RTF grass seed. Sowing rate 35-50g per m ²	

KEY

- Site boundary (for planning purpose)
- Asphalt
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- Permeable block paving
- Resin bound aggregates
- Gravel grid
- Shrub bed
- Tree to be removed
- Grass grid
- Picnic tables
- Grass
- Decking
- Sculptural pillar
- New planted tree



Box balls planted along spine of walkway interspersed with oriental poppies to celebrate the 'Californian Poppies' theme of the Speedway era of the park.



Revision description	No.	By	Date
 ANTHONY STIFF ASSOCIATES Site Landscapes Differently 109, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 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2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242,			

Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
162321	22/8	Barkham	Barkham	Major

Applicant	Mr and Mrs Smith		
Location	Land to the north of Wood Lane (west of Meadowcroft) Wood Lane, Barkham	Postcode	RG41 4TS
Proposal	Application for the change of use of agricultural land to equestrian land, erection of a stable lock and storage of logs (retrospective)		
Type	Full		
PS Category	006		
Officer	Daniel Ray		

FOR CONSIDERATION BY	Planning Committee on 1 st March 2017
REPORT PREPARED BY	Head of Development Management and Regulatory Services

SUMMARY

The application site is an area of land totalling 8.63ha on the west hand side of Wood Lane, Barkham. The application is a retrospective application for a stable and associated equine use as well as the storage of logs and chippings that are a by-product of the applicants tree surgery business.

The principle of development is acceptable in so far as the equine use is an acceptable countryside activity and the storage of logs supports a local business that benefits both the rural and urban areas of the Borough.

The small size of the stable and storage area ensures that views in to the site beyond the mature hedgerow is limited thus ensuring the impact of the development on the character and appearance of the countryside is not harmful.

As only five horses are kept on the site and the small number of movements associated with the storage of the logs takes place, there is no concern from highways officers regarding highway safety and the impact on the highway network of the existing use.

Conditions limiting the storage of wood to storage only with no production or wood working of any kind taking place defines the site to a very limited use and a condition requiring the storage area to be left open and uncovered at all times ensure the filtration of water in to the ground at all times without increasing surface water flooding issues.

Subject to the use of conditions outlined within this report, the application is recommended for approval.

PLANNING STATUS

- Countryside
- Contaminated Land Consultation Zone
- SPA 5/7km

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

Conditions:

1. This permission is in respect of the submitted application plans and drawings numbered 16.SRS.P01 and titled Location Plan received by the local planning authority on 15 August and 23rd September 2016 respectively and drawing titled 'Wood Storage Area' received by the local planning authority on 27 October 2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.
Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.
2. The area for the storage of wood shall be limited to the areas hatched red on plan titled 'Wood Storage Area' only. No storage of any kind shall take place outside of the hatched areas. The storage areas shall be left open to the air at all times and no form of cover, even on a temporary basis, shall occur.
Reason: To prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.
3. The storage of wood shall be limited to the business 'Arborfield Tree Care' only.
Reason: To clarify the terms of the consent as the use is only acceptable and in accordance with Policy CP11 of Core Strategy subject to the storage of wood being ancillary to the applicants existing business.
4. There shall be no working of wood, or the production of wood of any kind on the site (this includes, but is not limited to, the cutting, sawing, milling, planing and burning of wood).
Reason: To ensure the character and appearance of the countryside is maintained and there is no detrimental impact to the amenity of any nearby residents by way of noise etc. and for clarity of the use permitted. Relevant policy: Core Strategy policies CP1, CP3 and CP6
5. No more than 5 (five) horses at any one time shall be kept and allowed to graze on the application site with land being used for private personal use only. There shall be no business or rural enterprise use associated with the keeping of horses on the site.
Reason: For the avoidance of doubt and to ensure there is no detrimental impact on the character and appearance of the countryside. Relevant policy: Core Strategy policies CP1, CP3 and CP6.
6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no gates or barriers shall be erected unless set back a distance of at least 5 metres from the highway boundary and so as to open away from the highway.
Reason: To ensure that vehicles do not obstruct the highway whilst waiting for

gates or barriers to be opened or closed, in the interests of road safety. Relevant policy: Core Strategy Policies CP3 and CP6.

PLANNING HISTORY

- F/2008/0993 - Proposed change of use of land to use for the storage of timber & wood chips. – This application was refused on encroachment in to the countryside, flooding and highways reasons. The application in 2008 was solely for wood storage and chippings. This proposal sought a large area of hard surfacing on the north eastern boundary approximately half way up the existing field. The storage area was much larger than what is proposed in this application, was within flood zone 2 and required an access road within the site to reach the storage area.

SUMMARY INFORMATION

Site Area	8.63ha
Existing land use	Agricultural
Proposed land use:	Equine and storage
Equine Use Area	8.36ha
Log Storage Area	0.27ha

CONSULTATION RESPONSES

WBC Drainage	Clarification was sought regarding whether the wood storage area would be covered/on a non-permeable surface
WBC Environmental Health	No objection
WBC Highways	No objection subject to condition 6.
WBC Tree & Landscape	No objection

REPRESENTATIONS

Barkham Parish Council:

No objection

Neighbours:

One letter of objection was received highlighting concern that the lane is not suitable for additional vehicles with poor visibility (para's 19 and 20) and concern regarding noise from chainsaws and burning of wood (condition 4).

APPLICANTS POINTS

- The site is well screened and has minimal impact on the appearance of the area
- The site has been used for the grazing of horses for a long time
- Small number of vehicle movements
- Very small area for storage of logs.

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development

	CP3	General Principles for Development
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside Development Limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC09	Development and Flood Risk (from all sources)
	TB21	Landscape Character
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 4

PLANNING ISSUES

Description of Development:

1. The application is seeking retrospective consent for the erection of a stable and the storage of wood and the use of land for equine purposes. The stable is L shaped with the ridge height being 2.9m in height, with the eaves being 2.4m in height. The stable is 12m x 3m from south west to north east, with the project to the north west measuring a further 7.5m x 3.3m. The stable has a total floor space of 60.75sqm. The walls are timber clad under black and green corrugated roof with UPVC guttering that feeds in to water butts. The application advises that the stable was constructed in June 2011.
2. Adjacent to the entrance (on the eastern boundary to the north of the stable) two small wood storage areas are present covering a total site area of 0.27ha. The wood is placed directly on to the ground and remains open to the air. No hardstanding has been introduced in to the site. The logs are a by-product of the applicants tree surgery company, Arborfield Tree Care. Following contact from the enforcement, the area of storage has been reduced.
3. The rest of the site is grass land and has not been used for any agricultural purposes during the ownership of the applicants (in excess of 8 years) but horses have been kept on the site for 5 years. The stable houses five horses and five horses are currently kept on the land.

Principle of Development:

4. The application site is located in an area designated as countryside in the Local Development Plan, outside any defined settlement area.
5. The National Planning Policy Framework (NPPF) has an underlying presumption in favour of sustainable development which is carried through to the Local Development Plan.

6. The NPPF is relevant to proposals in the countryside. The National Planning Policy Framework recognises that there are a set of core land- use planning principles. In particular principle No. 5 states that it should “take account of the different roles and character of different areas.....recognising the intrinsic character and beauty of the countryside.....” and supporting thriving rural communities within it. In particular, it seeks to encourage development that respects the character of a locality. In this instance, the character is predominantly rural, with established vegetation through mature hedgerows around the site and development must respect this and not compromise these qualities. Notwithstanding this, adjacent to the site is a Woodlands Farm Industrial Estate which does not contribute to the rural character of the area, but instead is a result of farm diversification over long period of time.
7. In addition, Paragraph 28 of the NPPF states that planning policies should support economic growth in rural areas, including promoting the development diversification of agricultural and other land based rural businesses.
8. With regard to the Local Development Plan, policy CP1 - Sustainable Development of the adopted Core Strategy requires that development proposals must maintain or enhance the high quality of the environment.
9. Policy CP3 – General Principles for Development states that planning permission will be granted for proposals that:
 - a) “Are of an appropriate scale of activity..... and character to the area and without detriment to the amenities of adjoining land users including open spaces or occupiers and their quality of life”
10. Policy CP11- Proposals outside Development Limits (including Countryside) of the adopted Wokingham Borough Core Strategy states that:

“In order to protect the separate identity of settlements and maintain the quality of the environment, proposals outside of development limits will not normally be permitted except where:

It contributes to diverse and sustainable rural enterprises within the borough, or in the case of other countryside based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside.”

11. The proposal for the keeping and grazing of horses is considered to be acceptable in principle as it promotes the recreation in and enjoyment of the countryside. Equine purposes are an acceptable countryside activity. The stable, is acceptable in principle subject to a more detailed analysis in terms of its impact on the character of the area, impact on highways and the impact on neighbouring residential amenity.
12. The use of the small area of the land for the storage of logs is ancillary to a business that benefits the Borough as a whole, tree surgery benefits both the countryside and urban areas and the storage of logs ancillary to this use would therefore be an acceptable countryside use subject to their being an acceptable impact on the rural character of the area, including visual amenity, the amenity of

neighbouring occupiers and highway safety.

13. As the use is only acceptable as it supports a local business it is appropriate for a condition limiting the storage to being personal to the applicant,

Character of the Area:

14. The site is bounded by mature hedgerow on all of the boundaries. The site is grass except for the location of the stable and the log storage area. Immediately to the south and east of the site is Woodlands Farm and associated industrial estate. To the south west, separated by open fields is the village of Barkham. To the north, beyond Wood Lane is a sewage treatment works with a large area of associated hardstanding.
15. Due to the reasonably low height of the stable and the mature hedging to the front of the site as well as around the site as a whole, the impact of built form within the countryside from the stable is minimal.
16. The Landscape and Trees officer has noted in recent years that there has been the loss of viability of small farms leading to neglect of agricultural land and decline in management of agricultural features such as hedgerows, when land is taken over by other commercial operations such as storage yards, plant hire, breakers yards etc.
17. These sites are often located along rural lanes, noticeable from their solid padlocked timber gates, security signage and cameras and fly tipping at the roadside in some areas detracts from this rural appearance, and the sense of peacefulness and openness that is expected in the landscape.
18. Opposite the site the Woodlands Farm industrial estate is typical of this, and has eroded the character of the lane and decline of the hedgerow. The use for equine purposes requires the hedge to be maintained to ensure the safety and containment of the horses. As the hedge is existing and suitable for this purpose, a condition requiring further planting is not required and the site would not benefit from Permitted Development and therefore cannot introduce a fence. The hedge provides a visual barrier between both the stable and wood storage so that the small area of development has not had a detrimental impact on the character of the wider area to a level that is unacceptable.
19. The applicant has noted that only five horses are present on the site and this accords with the size of the stable which provides housing for five horses. The number of vehicles movements (see para's 19 and 20) is minimal associated with this number of horses and log storage, however to ensure there is no intensification of use on the land, which has occurred for a period in excess of five years, a condition limiting the number of horses on the site to five would ensure there is no intensification of use, without prior consideration by the local planning authority, that would have a negative impact on the character and appearance of the countryside.

Residential Amenities:

20. The development is situated far enough from any nearby residents so that there

is no impact in terms of overlooking, overbearing or overshadowing issues. Notwithstanding this concern has been raised regarding noise from chainsaws and the rubbish associated with the burning of wood on the site.

21. The applicant has advised that nothing other than storage takes place on the site and no working of the wood takes place. The application proposes storage only and this is acceptable in terms of impact on the character of the countryside, however conditions would be included to ensure that the site be used for equine purposes (cond. 5) and the storage of wood only and that no working of the wood, including, but not limited to the cutting, sawing, milling, burning or working of wood take place on the site (cond. 4). Therefore no significant impact is considered to occur in respond of residential amenity.

Access and Movement:

22. Information provided through a Planning Contravention Notice (received in respect of the proposed retrospective development) advised that there are 14 car movements a week (2 per day) associated with the equine use whilst the log storage is visited twice a week in a 4x4. However the applicant has since advised the maximum number of visits for both uses is 24 movements).
23. Concern has been raised that the entrance to the site suffers from poor visibility and that the existing lane is not suitable for the increased traffic. Highways have advised that the small number of movements associated with the keeping of 5 horses and the storage of wood would not lead to a detrimental impact on the highway network, however to ensure that visibility be maintained and that no vehicles block the road. This is achieved through condition 6.

Flooding and Drainage:

24. The stable is within an area of low risk surface water flooding, rainwater is collected within water butts on the site and provides drinking water for the horses. There is no hardstanding around the stable nor the site as a whole.
25. The wood storage area however is within an area of high surface water flooding and as such clarification was sought as to whether the logs are on placed on a non-permeable surface and whether or not they are covered to keep the wood dry. Officers were advised that there has been no introduction of a permeable surface (the logs were placed directly on the grass) and that they are not covered at any point. As such water is able to infiltrate the ground and the storage of logs would not disrupt this process. Condition 3 is included to ensure that the logs remain uncovered at all times, thus ensuring that rain water infiltration is unaffected by the development.

Environmental Health:

26. The Environmental Health Officer has not raised any objection to the development.

CONCLUSION

The application is considered to be acceptable in terms of the impact on the character of the area, highway network and residential amenity. Conditions limiting the area for storage and that no working of wood or wood production takes place on the site ensures that that there is no detrimental impact on the character of the area or on neighbouring amenity.

As such, the proposal is recommended for conditional approval.

CONTACT DETAILS

Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk



CAD UP LTD
 Ostlers Place
 Deer Park View
 Odiham, Hampshire
 RG29 1JY
 www.cadup.co.uk
 enquiries@cadup.co.uk 01256 702811

SCHOOL ROAD STABLES ARBORFIELD

EXISTING PLANS AND ELEVATIONS

Scale @ A3: 1:100

Date: 30/03/16

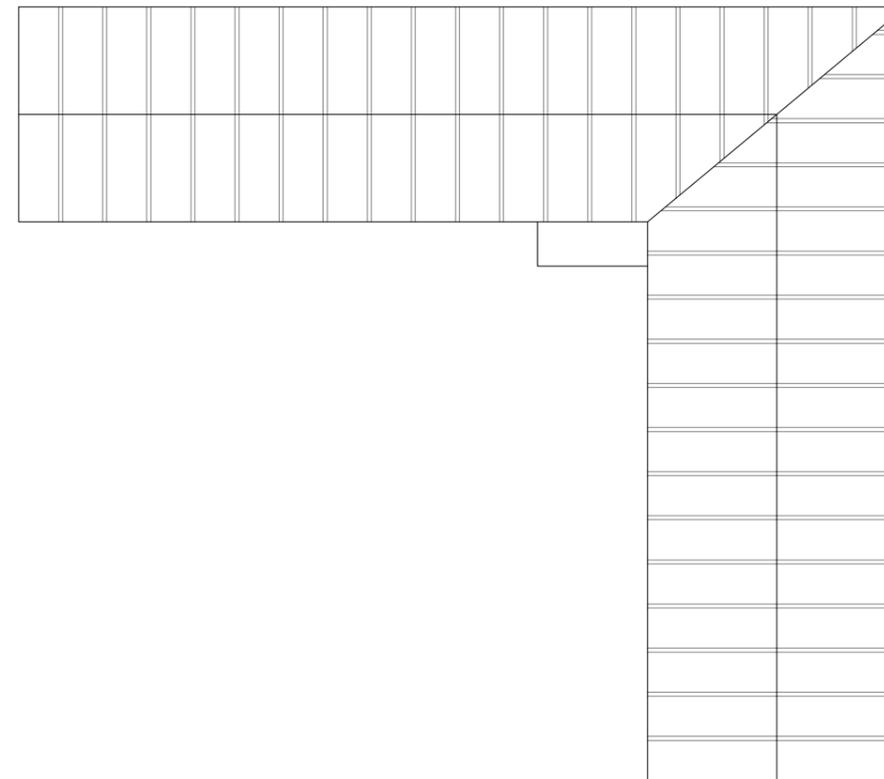
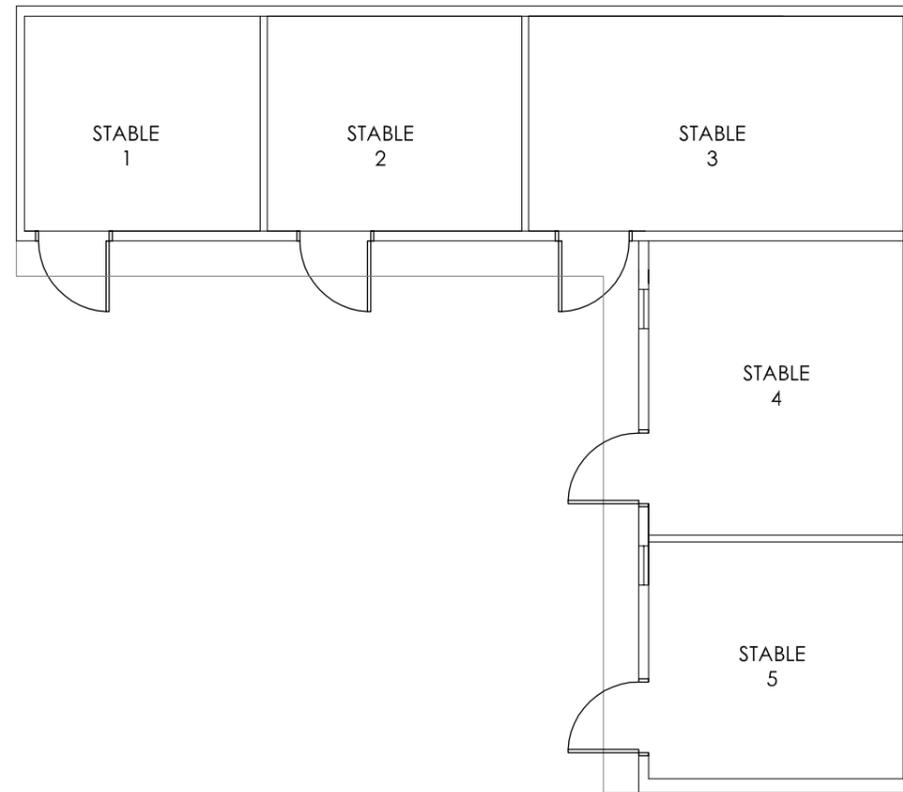
Dwg n°: 16.SRS.P01

Rev	Date	Details
-	21.06.16	Floor plan

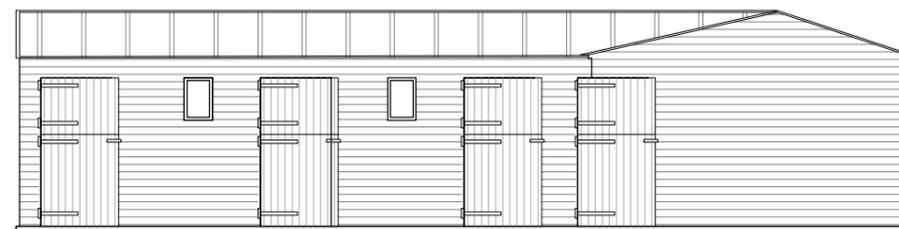
PLANNING

NOTES

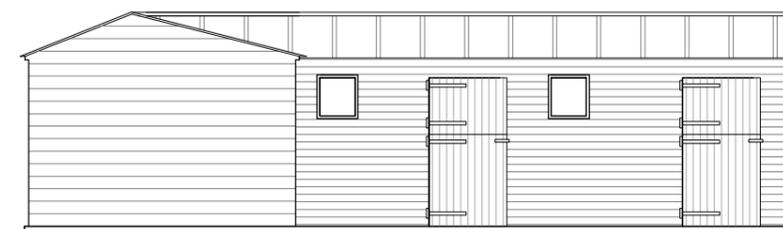
1. This drawing is copyright of: CAD UP LTD. Reproduction is only to take place with our written authority.
2. These Plans are subject to 'Planning and Building Regulation Approval' or any other statute in law before building commences.
3. Any structural work where mentioned on the drawing is subject to a qualified structural and civil engineer calculations before building work commences.
4. All drawings marked preliminary or planning are not to be built or manufactured from.
5. If any discrepancies are found in the drawings these are to be brought to the attention of CAD UP for rectification.
6. Boundary line indicative only. Exact location must be determined on site before building work commences.



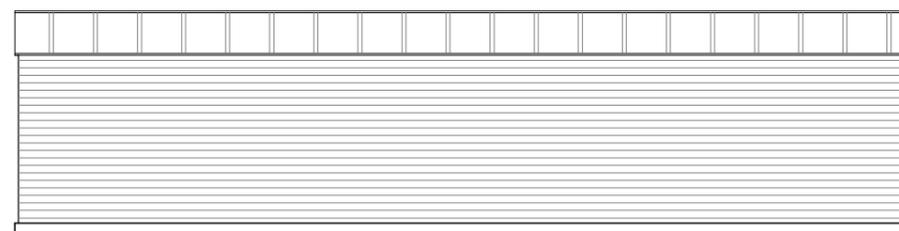
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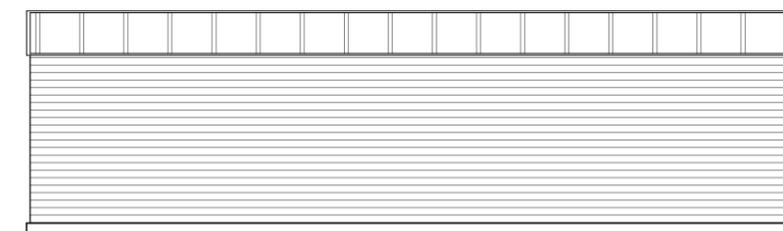
North East Elevation



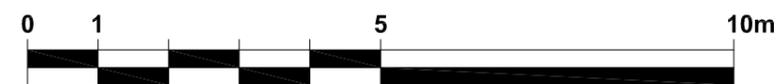
North West Elevation



South East Elevation

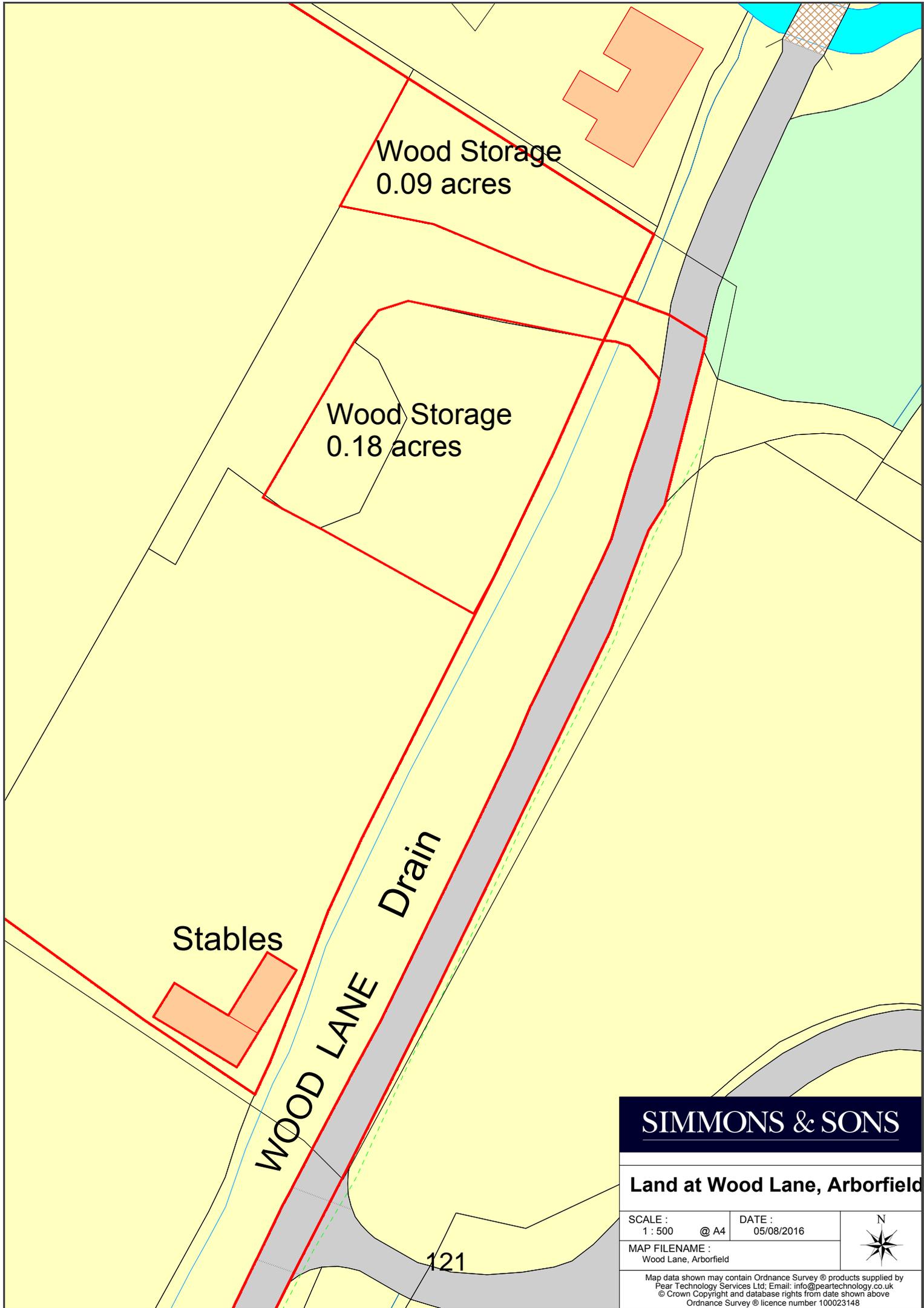


South West Elevation



Scale 1:100

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Wood Storage
0.09 acres

Wood Storage
0.18 acres

Stables

WOOD LANE Drain

121

SIMMONS & SONS

Land at Wood Lane, Arborfield

SCALE : 1 : 500 @ A4	DATE : 05/08/2016	N 
MAP FILENAME : Wood Lane, Arborfield		

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Wood Lane, Arborfield

SCALE :
1 : 1250 @ A3

DATE :
23/09/2016



MAP FILENAME :
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Horse Paddocks
8.36 acres

Stables

WOOD LANE Drain

Woodlands Farm

SCHOOL ROAD

51.2m

123

Langleypond Farm

Drain

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SIMMONS & SONS

12 Wote Street, Basingstoke, Hampshire, RG21 7NW
Tel: 01256 327711 Email: rural@simmonsandsons.com

Wood Lane, Arborfield

SCALE :
1 : 1250 @ A3

DATE :
27/10/2016



MAP FILENAME :
[Filename]

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Horse Paddocks
8.36 acres

Wood Storage
0.09 acres

Wood Storage
0.18 acres

Stables

WOOD LANE Drain

Woodlands Farm

SCHOOL ROAD

51.2m

125

Langleypond
Farm

Drain

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From: [Debbie Spilsbury](#)
To: [Daniel Ray](#)
Cc: [Planning Enquiries](#)
Subject: FW: PA 162321 - Land to the north of Wood Lane, Arborfield ~ [UNCLASSIFIED] ~
Date: 20 October 2016 14:21:48

From: Arborfield & Newland Parish Council [mailto:parishclerk@arborfield.org.uk]
Sent: 20 October 2016 13:25
To: Development Control
Subject: PA 162321 - Land to the north of Wood Lane, Arborfield

Arborfield & Newland Parish Council has no objections to this application.

Kind Regards,

Alison Ward
Parish Clerk
Arborfield & Newland Parish Council
The Parish Office, Arborfield Village Hall
Eversley Road, Arborfield, Berkshire, RG2 9PQ

0118 976 1489

www.arborfield.org.uk

The Parish Office is open 10am - 12noon, Monday to Thursday

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Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
163315	13/13	Earley	Maiden Erlegh	Major

Applicant Location University of Reading
Engineering Building, Whiteknights Campus, **Postcode** RG6 6UR
University of Reading

Proposal Full application for the erection of a 5 storey Health and Lifesciences Building; new entrance and external works to Philip Lyle Building; associated landscaping and car parking; following demolition of the Engineering and Harborne Building within the Whiteknights Campus of the University of Reading.

Type Full
PS Category 6
Officer Graham Vaughan

FOR CONSIDERATION BY Planning Committee on 1st March 2017
REPORT PREPARED BY Head of Development Management and Regulatory Services

SUMMARY

The application site is within the major development location of Earley and also within the University of Reading Whiteknights Campus. It comprises of the Engineering building, two car parks, the Harborne building and the Philip Lyle building as well as associated service road and landscaping. The campus as a whole is a major education institution in the Borough although part of it falls within Reading Borough Council. There are a mix of building styles and designs but the campus also has large parts of green areas and woodland as well as a lake.

The scheme is for full permission for the redevelopment of the site to erect a new five storey health and life sciences building. This would involve the demolition of the Engineering and Harborne buildings as well as entrance works to the Philip Lyle building. Whilst a car park would be removed, the other would remain. Currently there are no plans for the site of the Harborne building. Landscaping and public realm improvements are also proposed. The proposal would allow for the consolidation of the School of Biological Sciences from a number of existing buildings and is part of the University Masterplan to rationalise floor space across the campus.

The proposal is within development limits and therefore acceptable in principle. The campus is subject to policy TB14 of the MDD Local Plan which protects the historical, environmental and ecological aspects of the campus as well as protecting residential amenity, highway safety and public benefits. Whilst the proposal would result in the loss of some existing buildings and their replacement with a modern large scale building, no harm in planning terms arises due to the eclectic mix of architectural and design styles across the campus. It is also located a sufficient distance from any historic interest and any residential properties. No harm would arise in landscape or ecology terms and therefore no conflict with policy TB14 arises. Although there would be a decrease in parking provision, there would be a corresponding decrease in floor space. No objection is raised with regards to this particularly as the site is in a sustainable location and a

travel plan for the university is in place. As such, the scheme is considered to be compliant with the development plan and is recommended for conditional approval.

PLANNING STATUS

- Major development location
- Historic park and gardens
- University of Reading Whiteknights Campus
- Borough Boundary (Reading)
- Contaminated land consultation zone

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

A. Conditions and informatives:

Conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. This permission is in respect of the submitted application plans and drawings numbered 1459939-STL-00-00-DR-A-ZZZZ-01000-Proposed Site Plan, 1459939-STL-00-00-DR-A-ZZZZ-01001-Construction Phasing Plan, 1459939-STL-00-00-DR-A-ZZZZ-01002-Site Location Plan, 1459939-STL-00-00-DR-A-ZZZZ-01003-Block Plan, 1459939-STL-00-00-DR-A-ZZZZ-02000-Level 0 GA Plan, 1459939-STL-00-00-DR-A-ZZZZ-09000-Service Yard, 1459939-STL-00-01-DR-A-ZZZZ-02001-Level 1 GA Plan, 1459939-STL-00-02-DR-A-ZZZZ-02002-Level 2 GA Plan, 1459939-STL-00-03-DR-A-ZZZZ-02003-Level 3 GA Plan, 1459939-STL-00-04-DR-A-ZZZZ-02004-Level 4 GA Plan, 1459939-STL-00-05-DR-A-ZZZZ-02005-Level 5 GA Plan, 1459939-STL-00-ZZ-DR-A-ZZZZ-03000-Proposed North Elevation, 1459939-STL-00-ZZ-DR-A-ZZZZ-03001-Proposed East Elevation, 1459939-STL-00-ZZ-DR-A-ZZZZ-03002-Proposed South Elevation, 1459939-STL-00-ZZ-DR-A-ZZZZ-03003-Proposed West Elevation, 1459939-STL-00-ZZ-DR-A-ZZZZ-04000-Planning- Section A-A, 1459939-STL-00-ZZ-DR-A-ZZZZ-04001-Planning- Section B-B, 1459939-STL-00-ZZ-DR-A-ZZZZ-04002-Planning- Section C-C, 1459939-STL-00-ZZ-DR-A-ZZZZ-04003-Planning- Section D-D, 1459939-STL-03-00-DR-A-ZZZZ-01001-Proposed Ground Floor Plan, 1459939-STL-03-00-DR-A-ZZZZ-E1001-Existing Ground Floor Plan, 1459939-STL-03-01-DR-A-ZZZZ-01002-Proposed First Floor Plan, 1459939-STL-03-01-DR-A-ZZZZ-E1002-Existing First Floor Plan, 1459939-STL-03-ZZ-DR-A-ZZZZ-02000-Proposed Elevations Sheet 01, 1459939-STL-03-ZZ-DR-A-ZZZZ-02001-Proposed Elevations Sheet 02, 1459939-STL-03-ZZ-DR-A-ZZZZ-02002-Proposed Elevations Sheet 03, 1459939-STL-03-ZZ-DR-A-ZZZZ-E2000-Existing Elevations Sheet 01, 1459939-STL-03-ZZ-DR-A-ZZZZ-E2001-Existing Elevations Sheet 02 received by the local planning authority on 21st December 2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

Reason: For the avoidance of doubt and to ensure that the development is

carried out in accordance with the application form and associated details hereby approved.

3. Before the development hereby permitted is commenced, samples and details of the materials to be used in the construction of the external surfaces of the building/s (including the driveways, colours of fenestration and doors) shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.

Reason: To ensure that the external appearance of the building is satisfactory.

Relevant policy: Core Strategy policies CP1 and CP3

4. Before the development hereby permitted is commenced a lighting design strategy for biodiversity for light sensitive species shall be submitted to and approved in writing by the local planning authority. The strategy shall:
 - a. Identify those areas/features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used to access key area of their territory, for example for foraging; and
 - b. Show how and where external lighting will be installed so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.

All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason: To maintain favourable conservation status of the site for protected species and species of principal importance. Relevant Policy: Core Strategy policy CP7 and MDD policy TB23

5. Before the development hereby permitted is commenced a detailed scheme to provide wildlife enhancements for invertebrates, hedgehogs, birds, and bats as proposed in the submitted Ecological Appraisal (EPR Ltd, Ref: P16/00 1A, 13 April 2016) shall be submitted to and approved in writing by the local planning authority. The measures contained within the plan shall be implemented in accordance with the approved plans and these shall be maintained thereafter in accordance with the scheme.

Reason: To secure wildlife enhancements within the course of the development, as appropriate under the NPPF.

6. a) Before the development hereby permitted is commenced a Construction Method Statement with regards to the demolition of the buildings shall be submitted to, and approved in writing by, the local planning authority.
b) Following the demolition of the buildings a Construction Method Statement with regards to the construction of the buildings shall be submitted to, and approved in writing by, the local planning authority.

The approved Statement shall be adhered to throughout the demolition/construction period and each Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) loading and unloading of plant and materials,
- iii) storage of plant and materials used in constructing the development,

- iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- v) wheel washing facilities,
- vi) measures to control the emission of dust and dirt during construction,
- vii) a scheme for recycling/disposing of waste resulting from demolition and construction works.

Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.

7. Unless otherwise agreed by the local planning authority, development other than that required to be carried out as part of an approved scheme of contamination remediation must not commence until conditions A – D (below) have been complied with. If unexpected contamination is found after development has commenced, development must be halted on that part of the site affected by the unexpected contamination, to the extent specified in writing by the Local Planning Authority, until there is compliance with condition D (below):

- a. **Site Characterisation** - An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing by the local planning authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing by the local planning authority. The report of the findings must include:

- i. a survey of the extent, scale and nature of contamination;
- ii. an assessment of the potential risks to:
 - a. human health,
 - b. property [existing or proposed] including buildings, crops, livestock, pets, woodland and service lines and pipes,
 - c. adjoining land,
 - d. groundwaters and surface waters,
 - e. ecological systems,
 - f. archaeological sites and ancient monuments;
- iii. an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11'.

- b. **Submission of Remediation Scheme** - A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared, and is subject to the approval in writing of the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

- c. **Implementation of Approved Remediation Scheme** - The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the local planning authority. The local planning authority must be given two weeks written notification of commencement of the remediation scheme works. Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the local planning authority.
- d. **Reporting of Unexpected Contamination** - In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition A, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition B, which is subject to the approval in writing of the local planning authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the local planning authority in accordance with condition C.

Reason: To ensure that future users of the site are protected from the harmful effects of contamination. Relevant Policy: Core Strategy Policy CP1 and CP3

- 8. No development shall take place on the site until the existing Engineering Building shown to be demolished on the approved plan has been so demolished.
Reason: In the interests of the amenity of the area. Relevant policy: Core Strategy policies CP1 and CP3

- 9. No building shall be occupied until an Employment and Skills Plan has been submitted to and approved in writing by the local planning authority. The Employment and Skills Plan shall show how the development hereby permitted provides opportunities for training, apprenticeship or other vocational initiatives to develop local employability skills and shall be implemented in accordance with the approved details.
Reason: To ensure training opportunities are available for local workers. Relevant policy: Managing Development Delivery Local Plan policy TB12

- 10. No part of any building(s) hereby permitted shall be occupied or used until vehicle parking and turning space has been provided in accordance with details to be submitted to and approved in writing by the local planning authority. The vehicle parking and turning space so-approved shall be retained in accordance with the approved details and the parking space remain available for the parking of vehicles at all times and the turning space shall not be used for any purpose other than vehicle turning.
Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy

policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

11. No building shall be occupied until details of secure and covered bicycle storage/ parking facilities for the occupants of the development have been submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

12. The development hereby approved shall not be carried out unless in accordance with the submitted landscaping details (1459939-STL-XX-00-DR-L-6020-01040 P08; 1459939-STL-XX-00-DR-L-6020-01041 P08; 1459939-STL-XX-00-DR-L-6020-01001 PL08) received by the Local Planning Authority on 21st December 2016. Planting shall be carried out in accordance with these details in the first planting and seeding seasons following the occupation of the building(s). Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority. *Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development)*

- 13.a) The development hereby approved shall not be carried out unless in accordance with the submitted Arboricultural Impact Assessment and Arboricultural Method Statement (Chalice Consulting Ltd., October 2016, CC/1529 AR2862) and Tree Protection Plan (1459939-STL-XX-00-DR-L-6020-01010) unless approved otherwise in writing by the local planning authority (herein after referred to as the Approved Scheme). The tree protection measures approved shall be implemented in complete accordance with the Approved Scheme for the duration of the development (including, unless otherwise provided by the Approved Scheme) demolition, all site preparation work, tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery.

b) No development (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence until the local planning authority has been provided (by way of a written notice) with a period of no less than 7 working days to inspect the implementation of the measures identified in the Approved Scheme on-site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of

liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

14. The development hereby approved shall not be carried out unless in accordance with the submitted flooding and drainage details (Flood Risk Assessment, AECOM, December 2016, 60441574FRA/01; AECOM micro-drainage for UoR HLS main works, August 2016; AECOM plan 60441574/EN/C/GA/001 P2, May 2016; AECOM plan 60441574/MW/C/GA/002 P3, October 2016) received by the Local Planning Authority on 21st December 2016. The details shall be implemented in full unless otherwise approved in writing by the local planning authority.

Reason: To ensure the development would not have an adverse impact on flood risk for the surrounding area. Relevant Policy: MDD Local Plan policy CC09 and CC10

15. The new building shall achieve BREEAM level 'Very Good' in accordance with the requirements of BREEAM [or such national measure of sustainability for non-residential design that replaces that scheme].

Reason: To ensure developments contribute to sustainable development. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policy CC04

16. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

17. All plant machinery and equipment installed or operated in connection with the carrying out of this permission shall be so enclosed and/or attenuated that noise there from does not exceed at any time a level of 5dB(A) below the existing background level (or 10dB(A) if there is a particular tonal quality) when measured

at a point one metre external to the nearest residential or noise sensitive property.

Reason: In the interests of protecting the local residents from unreasonable noise levels which would be detrimental to the residential character of the area.

Relevant policy: Core Strategy policy CP3

18. All materials arising from the demolition of buildings on the site shall be permanently removed from the site.

Reason: In the interests of the amenity of the area. Relevant policy: Core Strategy policies CP1 and CP3

19. No works related to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 8.00am and 6.00pm Monday to Friday and 8.00am to 13.00pm on Saturdays and at no time on Sundays or Bank or National Holidays unless otherwise agreed in writing with the Local Planning Authority

Reason: To safeguard amenity of neighbouring properties. Relevant policies: NPPF, Core Strategy Policies CP1 and CP3

Informatives:

1. The applicant is advised of information from Southern Gas Networks relating to gas pipes near the site. Details of this have been sent.

PLANNING HISTORY

The University of Reading has an extensive planning history. With regards to the buildings that are part of this application, minor alterations and extensions have occurred.

SUMMARY INFORMATION

Site Area	1.60 hectares
Existing floor space (GIA)	12395
Proposed floor space (GIA)	10808
Existing parking spaces	128
Proposed parking spaces	79

CONSULTATION RESPONSES

Environment Agency	No comments received
Historic Park and Gardens	No comments received
National Grid	No comments received
Reading Borough Council	No objection
Royal Berkshire Fire and Rescue	No objection
Southern Gas Networks	No objection
SEE Power Distribution	No comments received
WBC Biodiversity	No objection subject to conditions (4, 5)
WBC Community Infrastructure	No objection subject to condition (9)
WBC Conservation	No objection
WBC Drainage	No objection subject to conditions (14)
WBC Environmental Health	No objection subject to conditions (7, 17, 19)
WBC Highways	No objection subject to conditions (6, 10, 11)
WBC LUTT (Policy)	No comments received
WBC Tree & Landscape	No objection subject to conditions (12, 13, 16)
WBC Waste Services	No comments received

REPRESENTATIONS

Earley Town Council: Recommend refusal due to the reduced level of parking, increase in students and scheme is not architecturally challenging (See paragraph 15 and 9)

Local Members: No comments received

Neighbours: No comments received

APPLICANTS POINTS

- Development of the site is within the university masterplan and would enable a modern, multipurpose building to be constructed
- Proposal is in accordance with local policy regarding university development
- Parking provision is in accordance with University requirements

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC05	Renewable energy and decentralised energy networks
	CC06	Noise
	CC07	Parking
	CC10	Sustainable Drainage
	TB12	Employment Skills Plan
	TB14	Whiteknights Campus
Supplementary Planning Documents (SPD)	TB21	Landscape Character
	TB23	Biodiversity and Development
	BDG	Borough Design Guide – Section 4
	WPSS	Wokingham Parking Standards Study Report October 2011

PLANNING ISSUES

Description of Development:

1. The application site is within the Whiteknights campus of the University of Reading. The boundary between Wokingham and Reading boroughs intersects the campus and incidentally intersects through the application site. As such, applications have been made to both Councils. The University is an internationally important education institution and has benefitted from substantial expansion since receiving its charter in 1926. Currently over 17000 students and 4000 staff use the university. In response to this growth, the university is aiming to rationalise its building stock to achieve financial gains as well as environmental benefits. The application is one part of a current masterplan aimed at providing a multiuse building used by a number of different departments within the health and life sciences area.
2. The proposal comprises of the following elements: demolition of the engineering and Harborne building, erection of new health and life sciences building, new entrance to the Philip Lyle building, alterations to car parking and landscaping. This would enable the consolidation of the School of Biological Sciences from a number of existing buildings into the purpose built health and life sciences building. The demolition of the Harborne building would remove the link between the Philip Lyle building and therefore a single storey accessible entrance is proposed. Currently, there are no immediate plans for the site of the Harborne building.
3. The new building, located on the site of the existing engineering building, would comprise primarily of teaching rooms and laboratories with an ancillary café and exhibition space. The main laboratory section would be five storeys in scale with the 'study' wing and atrium at three storeys except for one section at four storeys. This provides changes in the overall mass and scale of the building and is accentuated by the use of different cladding on separate sections of the building. As such, the building would be at most 53.7 metres in length, 43.2 metres in width and have a total height of 24.7 metres. A detailed landscaping strategy and changes to the car parking areas are also proposed.

Principle of Development:

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
5. Policy CC02 of the MDD sets out the development limits for each settlement as defined on the policies map and therefore replaces the proposals map adopted through the Core Strategy, as per the requirement of policy CP9. Policy CP9 sets out that development proposals located within development limits will be acceptable, having regard to the service provisions associated with the major, modest and limited categories. As the site is within a major development location, the proposal is acceptable in principle.

Character of the Area:

6. The site is located within the University of Reading Whiteknights Campus and therefore is subject to policy TB14 of the MDD. This policy states:

Development proposals will accord with the following criteria:

- a) They respect the historic landscape, open areas and listed buildings and their settings and the character of the area
 - b) Areas of wildlife significance (including Local Wildlife Sites) and current or potential green infrastructure networks will be retained and enhanced
 - c) The safety of those using the campus (including highway safety issues and designing out crime) will be maintained and enhanced;
 - d) There are no significant detrimental impacts on neighbouring residential properties from the development, including from noise or parking; and
 - e) The loss of undeveloped areas on the site will be weighed against the benefits of development to the wider community.
7. The campus area is a large parcel of land at the edge of Earley and is enclosed by main roads. Despite the number of buildings on the campus, there is a verdant character helped by substantial areas of grass, woodland and Whiteknights Lake. Generally, buildings are located close to each other but much of the built form is broken up by landscaping and trees across the campus contribute positively to this. The buildings themselves are generally three storeys or above in scale and have a large footprint. There is no set design with each building built in response to requirements of the school that is occupying them. This has resulted in an eclectic mix of design styles which in itself contributes to the overall character of the campus. As development opportunities have arisen in the past few years, the architectural style has become more modern.
 8. The proposal would replace an existing building (Engineering) and result in the demolition of a further building (Harborne). Neither of these buildings are considered to be architecturally significant and indeed were 'of their time'. The loss to the overall building stock on the campus is therefore insignificant. The proposed replacement building would at most be five storeys in scale but this would not appear as one single form, being split at four and three storeys respectively. It is noted that the proposal is not of a scale typically seen in the Borough, however, the Philip Lyle building is over five stories, the Engineering building four storeys and the library four storeys. As such, the proposal would not be out of keeping.
 9. The materials proposed to be used are a modern interpretation with white composite metal panels, glass fibre reinforced plastic, metal mesh and concrete and metal cladding. The building would be accentuated with the use of different colours. No objection is raised with regards to this as the campus clearly exhibits a mix of different architectural styles and material use, some of which is already modern. The comments of the town council are noted but as there is no set design on the campus, the proposal does not result in harm in planning terms. Furthermore, the alterations to the Philip Lyle building are considered to be minor in scale and would not result in any substantial change in character terms.
 10. The use of soft and hard landscaping is considered important in contributing

positively to the character of the campus. The proposal would result in a significant number of trees being planted around the buildings, which would help mitigate against the built form. Additionally, there is an emphasis on pedestrian movement around the building and providing an appropriate public space through paving, pebbled areas and feature seating. Again no objection is raised with regards to this. Overall therefore, the scheme is considered acceptable and no conflict arises with policy TB14.

Residential Amenities:

11. The immediate context of the site consists of buildings owned and occupied by the University. Whilst there are two residential properties owned by the University on the campus, these are located beyond another building approximately 70 metres away. Although the proposal would be visible from the street, the closest neighbouring properties outside of the campus are approximately 170 metres away. Therefore there would not be any harmful impact on residential amenity with regards to overlooking, overbearing or loss of light.
12. Due to the separation distance, no concern is raised with regards to noise however on a precautionary basis; the Environmental Health Officer has recommended restriction of working hours. As such, the proposal is compliant with policy CP3 of the Core Strategy and CC06 of the MDD.

Access and Movement:

13. **Highway Safety:** As the site is within the university campus, no impact on the access to the university or the public highway would occur. Furthermore no changes to the internal access roads are proposed. To ensure safe movement of students and staff during construction, a construction method statement would be required (6).
14. **Traffic Impact:** The submitted Transport Statement demonstrates that the site is highly accessible through modes of transport other than the private car. Furthermore, that traffic flows at the major entry junctions of the campus are operating within capacity. The proposal is not considered to result in any significant alteration to traffic generation as it is a rationalisation of buildings already on the site. As such, no concerns are raised with regards to this.
15. **Parking:** The proposal would consolidate the School of Biological Sciences from a number of existing buildings into one structure and therefore it needs to be considered as part of the university as a whole rather than a stand-alone building. On the site itself, there are 128 parking spaces and this would reduce to 79. These are however, not specifically for the existing building; instead they are part of the university wide parking strategy. As such, although there would be a decrease in parking spaces at the site, the fact that different departments from around the campus would be in one building would enable spaces elsewhere to become available. It should also be noted there is a decrease in floor space of 1587m² as a result of the proposal. Overall the parking provision of 79 spaces on the site itself is considered appropriate and the Highways Officer has not raised an objection to this.
16. The application does highlight that there is expected growth of the health and life

science courses up to 2025. Nonetheless from a planning perspective, this is not considered to be of significant concern. It is possible that this growth may not occur and in any case, it would be part of the overall masterplan for expansion of the university. As such, no objection is raised.

17. **Sustainability:** As the site is part of the University Campus, there is already a university wide travel plan in place. Furthermore, the proposal is for the rationalisation of existing space on the campus rather than a response to growth. Notwithstanding this, general growth of the university, through staff and students is envisaged over time. In addition to the existing public transport that serves the campus, 60 cycle spaces are proposed. This is 6 spaces below the requirement for this size of building, based on cycling standards; however given that there are 1800 cycle spaces across the campus, this shortfall is not considered to result in a harmful impact. Overall, no objection is raised subject to conditions (11).

Flooding and Drainage:

18. The site is located in Flood Zone 1 (low probability of flooding) however due to being above a hectare in size, a Flood Risk Assessment is required. This concludes that the impermeable surface area of the site would decrease from 1.059ha to 0.734ha and therefore flood risk would be reduced. Additionally, in terms of drainage, the existing discharge outfall into Whiteknights Lake would be utilised with attenuation storage for events up to and including the 1 in 100 year flood event with a 40% allowance for climate change and controlled at 5 litres per second. On this basis, the Drainage Officer does not object to the proposal and is satisfied no harmful impact would occur. A condition requiring the application to be carried out in accordance with the submitted information is considered appropriate (14).

Landscape and Trees:

19. The site is at the edge of a relatively built up area of the university campus however there is general landscaping within this. To the east of the site is a large wooded area including the Harris Garden further to the south. The University does have its own character and landscaping compared to other parts of the Borough but the prevalence of trees and general green areas on the campus are one of its positive aspects. The design of the building is considered to be in keeping with the overall architectural style of the campus and therefore no objection is raised. Pedestrian movement around the new building has been paramount to the landscaping scheme and a palette of appropriate hard and soft landscaping has been specified. The Tree and Landscape Officer raised no objection subject to a condition requiring this to be carried out (12).

20. Although 12 trees would be removed as a result of the proposal, as part of a comprehensive landscaping scheme, replacement and additional planting is proposed and this would result in betterment across the site. The species and amount have been specified and the Tree and Landscape Officer is supportive of the scheme. Additionally, appropriate tree protection methods are specified during construction and therefore subject to conditions requiring this to be carried out, no harmful impact is considered to occur (13).

Environmental Health:

21. The Environmental Health Officer has stated previous land uses could have caused contamination and therefore an assessment for any potential contamination is required. The submitted information does not fully address this and therefore further details are required by condition (7). Also raised are requirements for hours of construction (19) and control of noise levels to safeguard residential amenity (17).

Ecology:

22. The site itself is occupied primarily through hard standing and buildings resulting in little ecological value. It is acknowledged however that the university campus as a whole has a high ecological value. The impact of the scheme therefore is with regards to bats using the existing buildings and initial surveys indicate some bat activity. For the Engineering building, further activity surveys indicate that bats are not using this building. However for the Harborne building, it is possible that bats are present. Notwithstanding this, the Harborne building is due to be demolished in 2020 after the construction of the new building. As such, updated survey information would be required and therefore, in this instance, the Ecology Officer considers this to be exceptional circumstances. Therefore, a bat mitigation strategy agreeing timing triggers to ensure it takes place ahead of the demolition process is considered appropriate in this instance. Further information will be provided to Members at the committee. Additionally, the Ecology Officer has stated that external lighting (4) and wildlife enhancements could be controlled through conditions (5).

Sustainable Design/Construction:

23. Policy CC04 of the MDD requires proposal of more than 100m² gross non-residential floor space should achieve the mandatory BREEAM level. It is understood that as part of Reading Borough Council's requirements, the proposal would achieve a 'Very Good' level at a score of 62.5 which is significantly above the minimum level of 55. As such, in this instance, a condition requiring a 'Very Good' level would be acceptable to meet the requirement of policy CC04.

24. Policy CC05 of the MDD requires proposals of more than 1000m² to deliver a minimum 10% reduction in carbon emissions through renewable energy or low carbon technology. The proposal is an opportunity to remove existing buildings which are outdated in terms of energy efficiency and replace them with a new building designed to take account of modern understanding of energy requirements. The submitted Energy Statement sets out that a number of initiatives would be used to maximise natural light where required, minimise solar gain and take advantage of natural ventilation. This would be enhanced by automatically controlled low energy lighting, louvered openings and under floor heating. As such, the benefits against the existing building are substantial and the Energy Statement sets out that an estimated 40% reduction in the total energy usage would occur. It is acknowledged that this includes some buildings used by the School of Biological Sciences outside of the red line.

25. In terms of achieving the policy requirement, the University is currently undertaking modelling of the scheme. Early discussions, including through the

pre-application stage, indicate that the 10% reduction would be achieved. However it should be noted that this includes connection to the University's Combined Heat and Power (CHP) station. As this is fossil fuel powered it would typically be precluded from being used towards the 10% reduction. Nonetheless, the CHP is part of an established energy centre for the University which is providing heating for a number of buildings at the campus and is already providing energy gains. Connecting the new building to this would be the most effective solution and it should be noted that the University as a whole is committed to reducing its carbon footprint. On this basis, and given the substantial gains above the existing building, it is considered the use of the CHP station in achieving the 10% reduction is acceptable. Further confirmation of the 10% reduction will be reported to Members at the committee.

Community Infrastructure Levy (CIL)

26. As the proposal is not for new residential or retail floor space, it would not be a CIL liable development.

Employment Skills:

27. Policy TB12 of the MDD requires major applications to demonstrate how they can encourage the use of local skills and employment. The proposal is considered appropriate for this and therefore a condition requiring a plan to be submitted is included (9).

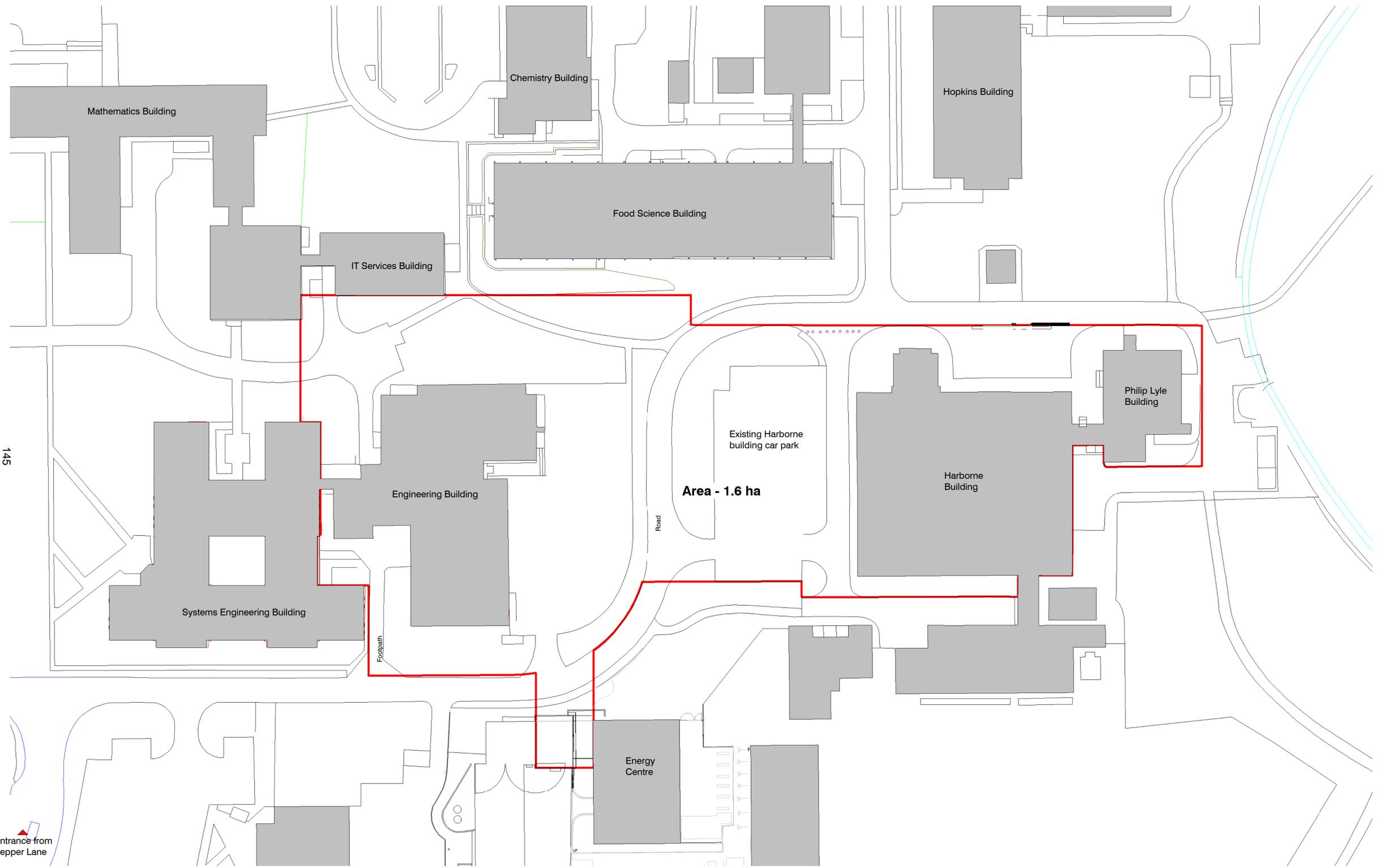
CONCLUSION

The application is considered to be acceptable in terms of the impact on the character of the area and neighbouring properties. Sufficient parking provision has been indicated and the proposal would provide mitigation for impact on protected species, landscaping and environmental health impacts. As such, the proposal is recommended for conditional approval.

CONTACT DETAILS

Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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PL	PL02	17.11.16	Planning Issue	REVISED BY	SHONA HOLLAND
STATUS	REV	DATE	DESCRIPTION	CHECKED BY	DANNY HARRIS
CLIENT				ORIGINATOR NO	32443

PROJECT TEAM

AECOM **WSP** **PARSONS BRINCKERHOFF**

STRIDE TREGLOWN

CONSULTANT

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PROJECT

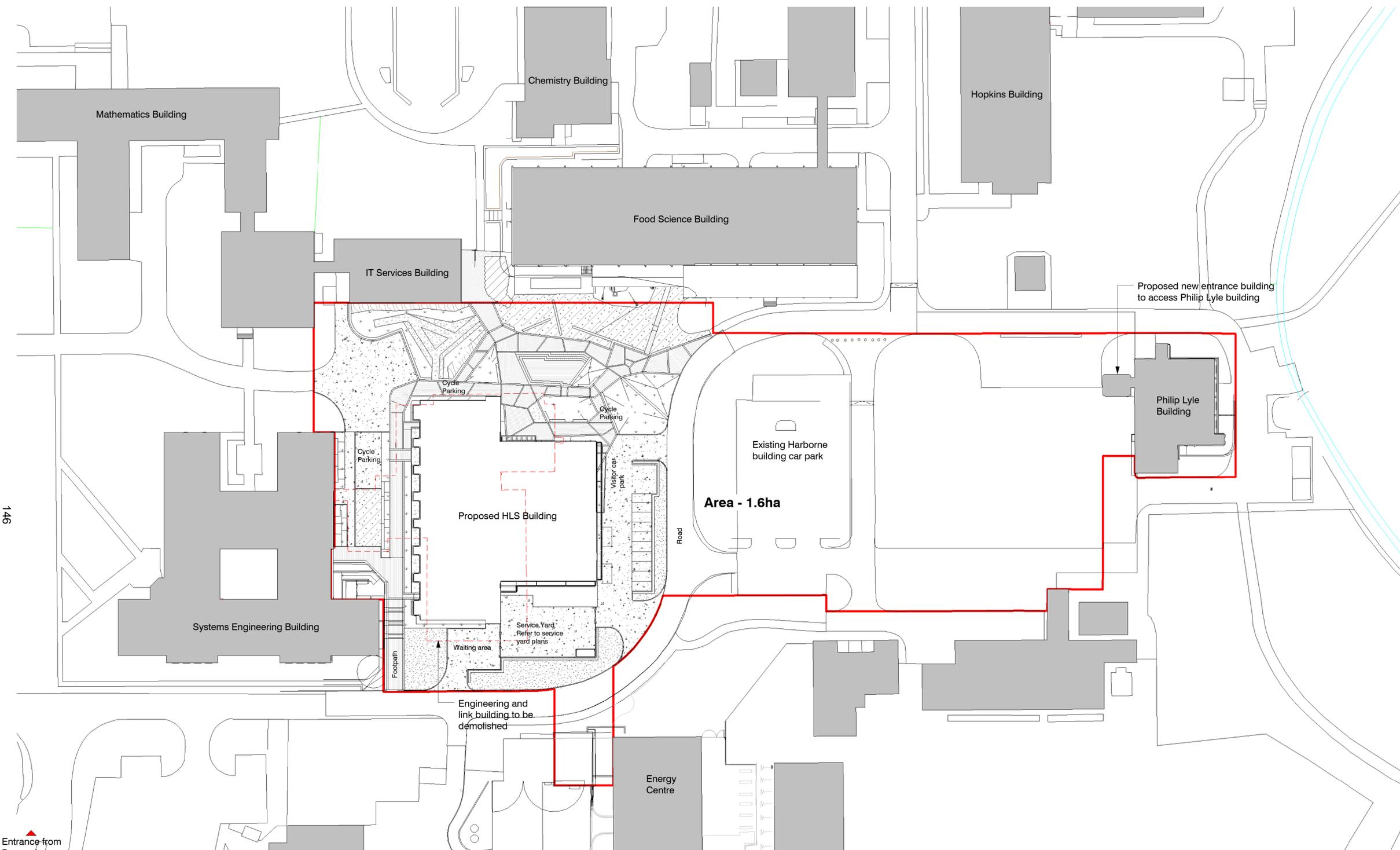
Health & Life Sciences
University of Reading
Whiteknights Campus
Reading
Berkshire RG6 6AH

DRAWING TITLE

Block Plan

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 500 @ A1

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1459939-STL-00-00-DR-A-ZZZZ-01003	PL02



Proposed site boundary

Existing building demolished

146

Entrance from Pepper Lane

PL	REV	DATE	DESCRIPTION
PL	PL03	25.11.16	Revised to Turleys comments
PL	PL02	17.11.16	Planning Issue
PL	PL01	14.11.16	Planning First Issue

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				SHONA HOLLAND
				DANNY HARRIS
				32443

PROJECT TEAM

AECOM **WSP** **PARSONS BRINCKERHOFF**

STRIDE TREGLOWN

CONSULTANT

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PROJECT

Health & Life Sciences
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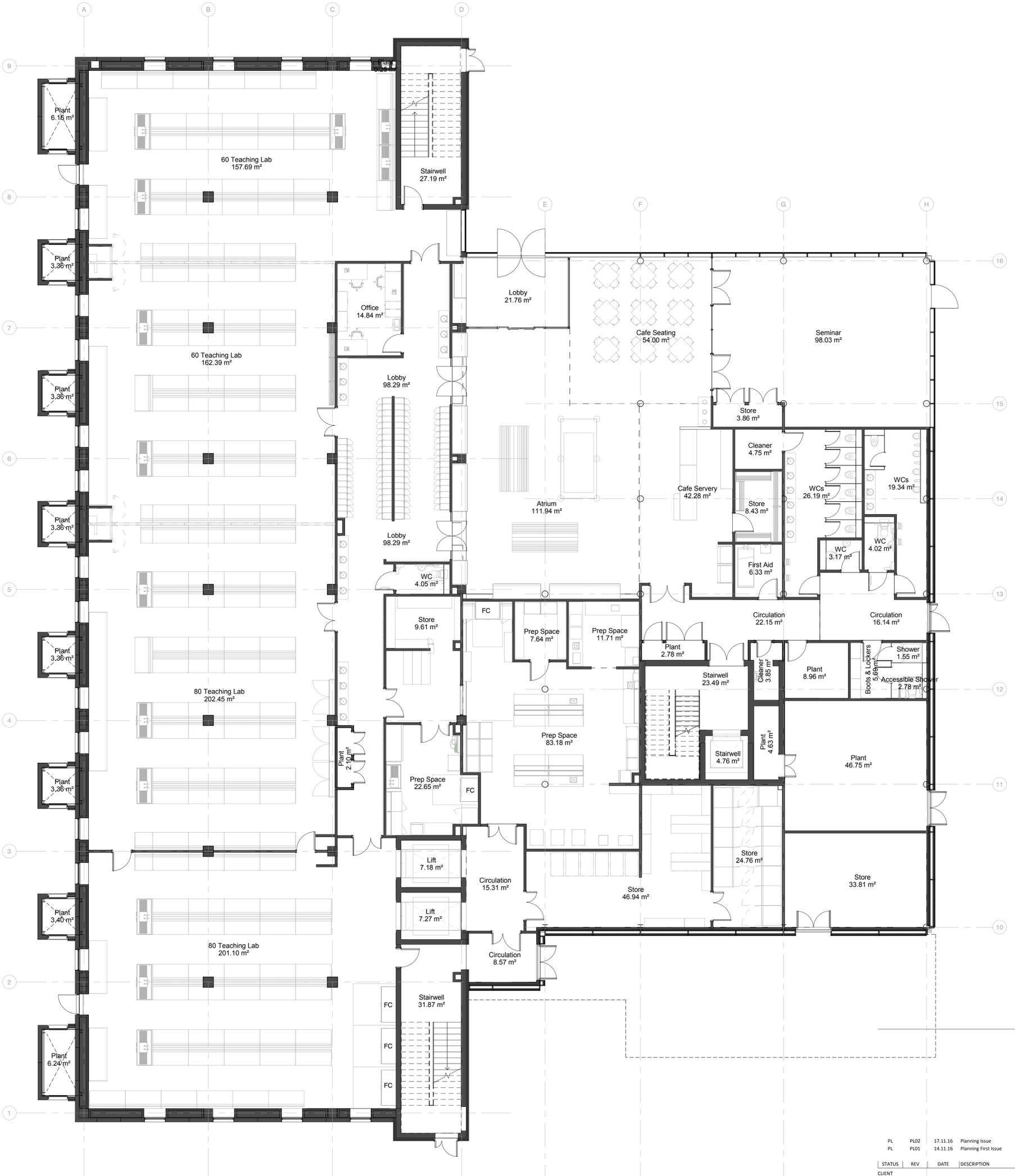
DRAWING TITLE

Proposed Site Plan



SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 500 @ A1

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1459939-STL-00-00-DR-A-ZZZZ-01000	PL03



1 Level 0 GA Plan
1 : 100

STATUS	REV	DATE	DESCRIPTION
PL	PL02	17.11.16	Planning Issue
PL	PL01	14.11.16	Planning First Issue

CLIENT
UNIVERSITY OF READING

REVISED BY
LEE GODDARD

CHECKED BY
DANNY HARRIS

ORIGINATOR NO
32443

PROJECT TEAM
AECOM WSP PARSONS BRINCKERHOFF
STRIDE TREGLOWN

CONSULTANT
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PROJECT
Health & Life Sciences
University of Reading
Whiteknights Campus
Reading
Berkshire RG6 6AH

DRAWING TITLE
Level 0 GA Plan

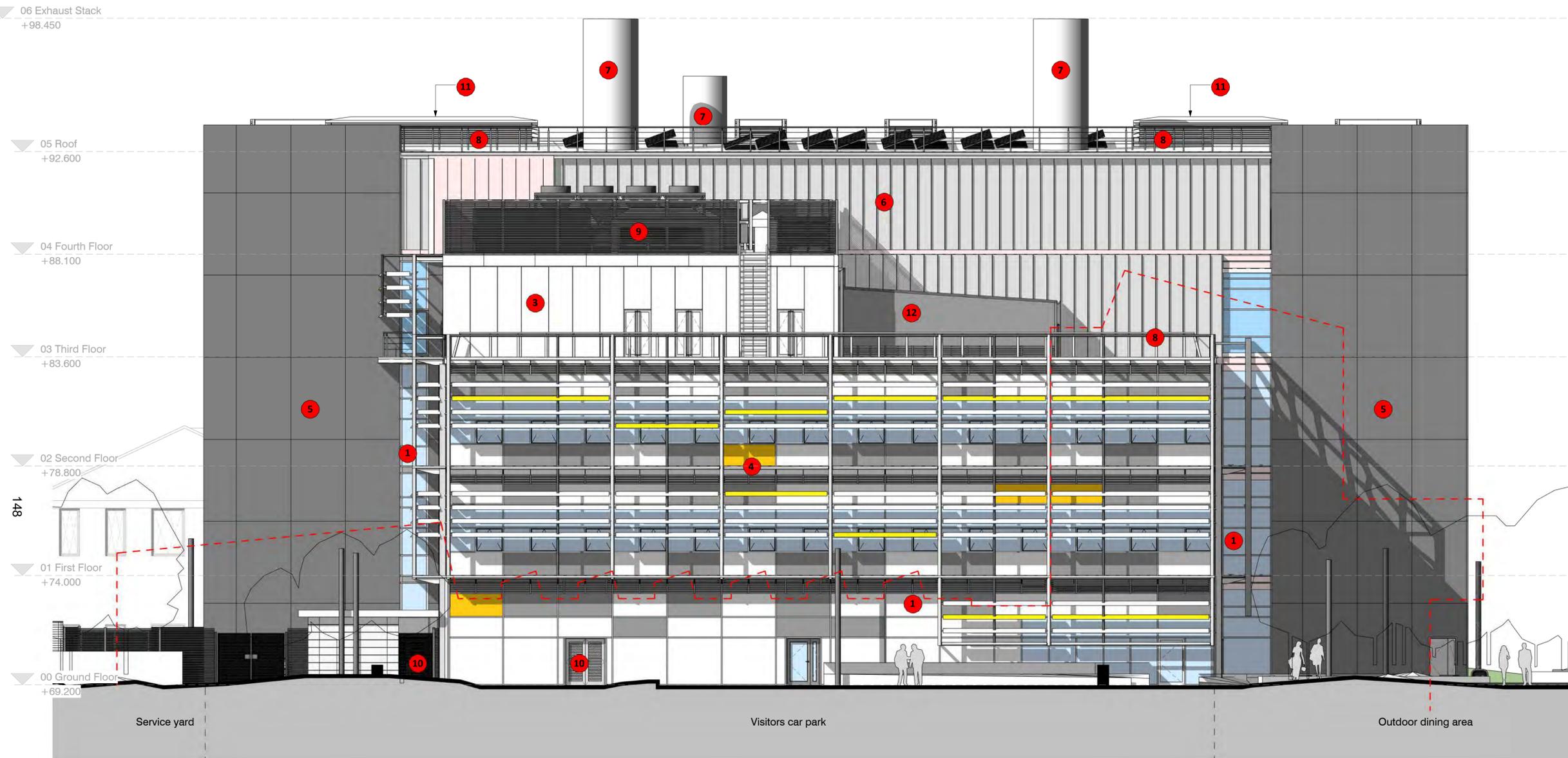
SUITABILITY STATUS
PL : PLANNING

SCALE
1 : 100 @ A1

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER | REVISION
1459939-STL-00-00-DR-A-ZZZZ-02000 | PL02



KEY	
1	Capped curtain walling with glass, PPC cladding and louvre panels where required
2	Capless curtain walling with feature entrance overclad
3	Prefabricated modular facade system, PPC, smooth profile
4	Proprietary brise soleil system with external gantry/access ways
5	Pre-cast concrete cladding
6	Profiled metal cladding, PPC
7	Exhaust chimneys from laboratory, metal clad
8	Roof edge rail system
9	Louvre panel screen wall to plant, PPC
10	Louvre panelled door, PPC
11	Penthouse louvre above plant room
12	Rooflight
- - -	Existing Building to be demolished



1 East Elevation (facing Harbourne Building)
1:100

STATUS	REV	DATE	DESCRIPTION	REVISOR
PL	PL02	17.11.16	Planning Issue	LEE GODDARD
PL	PL01	14.11.16	Planning First Issue	DANNY HARRIS

CLIENT: **University of Reading**

PROJECT TEAM: **AECOM WSP PARSONS BRINCKERHOFF STRIDE TREGLOWN**

CONSULTANT: **STRIDE TREGLOWN**

ORIGINATOR NO: 32443

PROJECT TEAM
AECOM WSP PARSONS BRINCKERHOFF
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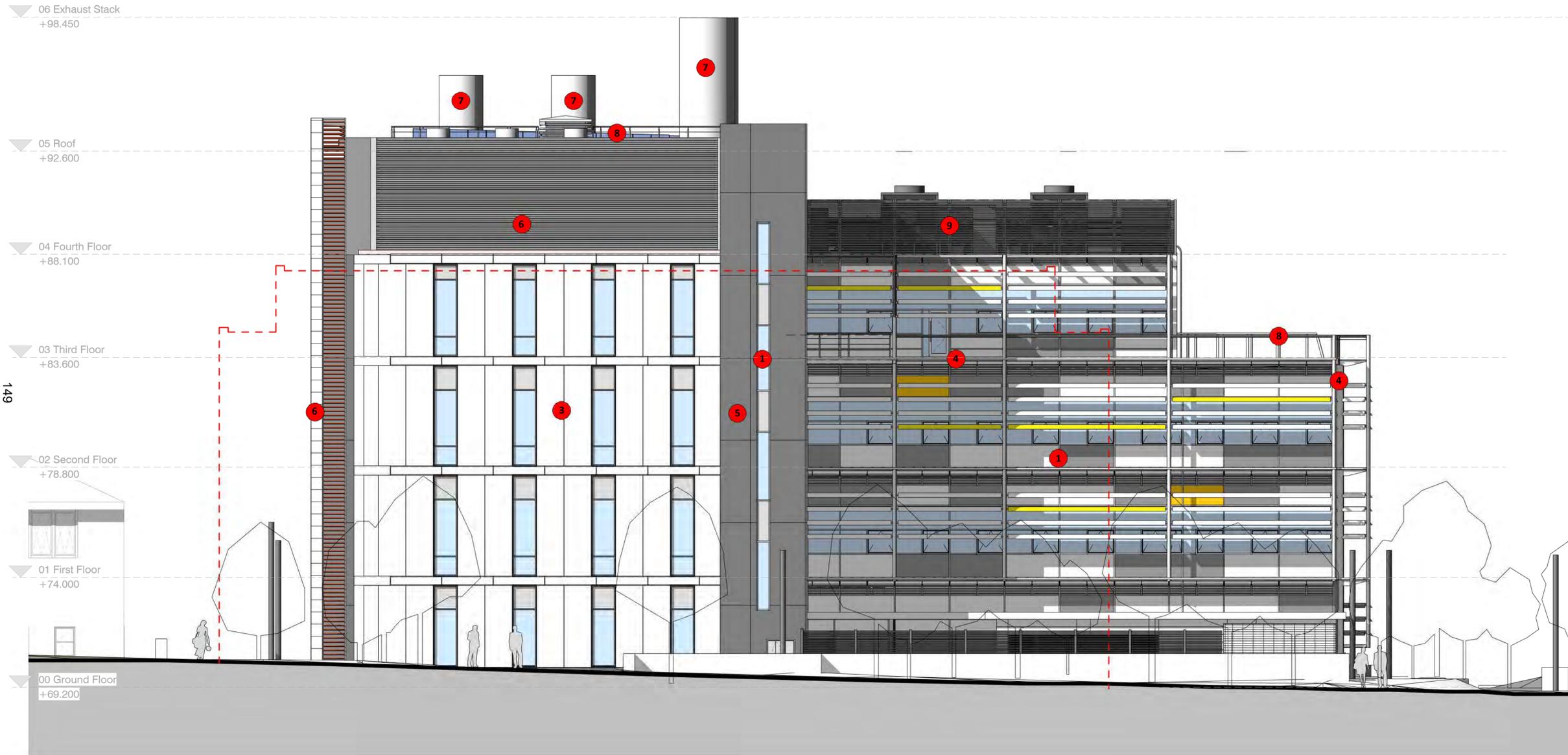
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PROJECT
 Health & Life Sciences
 University of Reading
 Whiteknights Campus
 Reading
 Berkshire RG6 6AH

DRAWING TITLE
 Proposed East Elevation

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1459939-STL-00-ZZ-DR-A-ZZZZ-03001	PL02

KEY	
1	Capped curtain walling with glass, PPC cladding and louvre panels where required
2	Capless curtain walling with feature entrance overclad
3	Prefabricated modular facade system, PPC, smooth profile
4	Proprietary brise soleil system with external gantry/access ways
5	Pre-cast concrete cladding
6	Profiled metal cladding, PPC
7	Exhaust chimneys from laboratory, metal clad
8	Roof edge rail system
9	Louvre panel screen wall to plant, PPC
10	Louvre panelled door, PPC
11	Penthouse louvre above plant room
12	Rooflight
- - -	Existing Building to be demolished



1 South Elevation (facing energy centre)
1 : 100

STATUS	REV	DATE	DESCRIPTION	REVISOR
PL	PL02	17.11.16	Planning Issue	LEE GODDARD
PL	PL01	14.11.16	Planning First Issue	DANNY HARRIS

CLIENT: **University of Reading**

PROJECT TEAM: **AECOM WSP PARSONS BRINCKERHOFF STRIDE TREGLOWN**

CONSULTANT: **STRIDE TREGLOWN**

ORIGINATOR NO: 32443

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PROJECT: Health & Life Sciences
University of Reading
Whiteknights Campus
Reading
Berkshire RG6 6AH

DRAWING TITLE: Proposed South Elevation

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1459939-STL-00-ZZ-DR-A-ZZZZ-03002	PL02

KEY	
1	Capped curtain walling with glass, PPC cladding and louvre panels where required
2	Capless curtain walling with feature entrance overclad
3	Prefabricated modular facade system, PPC, smooth profile
4	Proprietary brise soleil system with external gantry/access ways
5	Pre-cast concrete cladding
6	Profiled metal cladding, PPC
7	Exhaust chimneys from laboratory, metal clad
8	Roof edge rail system
9	Louvre panel screen wall to plant, PPC
10	Louvre panelled door, PPC
11	Penthouse louvre above plant room
12	Rooflight
- - -	Existing Building to be demolished



STATUS	REV	DATE	DESCRIPTION	REVISOR
PL	PL02	17.11.16	Planning Issue	SHONA HOLLAND
PL	PL01	14.11.16	Planning First Issue	DANNY HARRIS

CLIENT: **University of Reading**
ORIGINATOR NO: 32443

PROJECT TEAM

AECOM **WSP** **PARSONS BRINCKERHOFF**
STRIDE TREGLOWN

CONSULTANT

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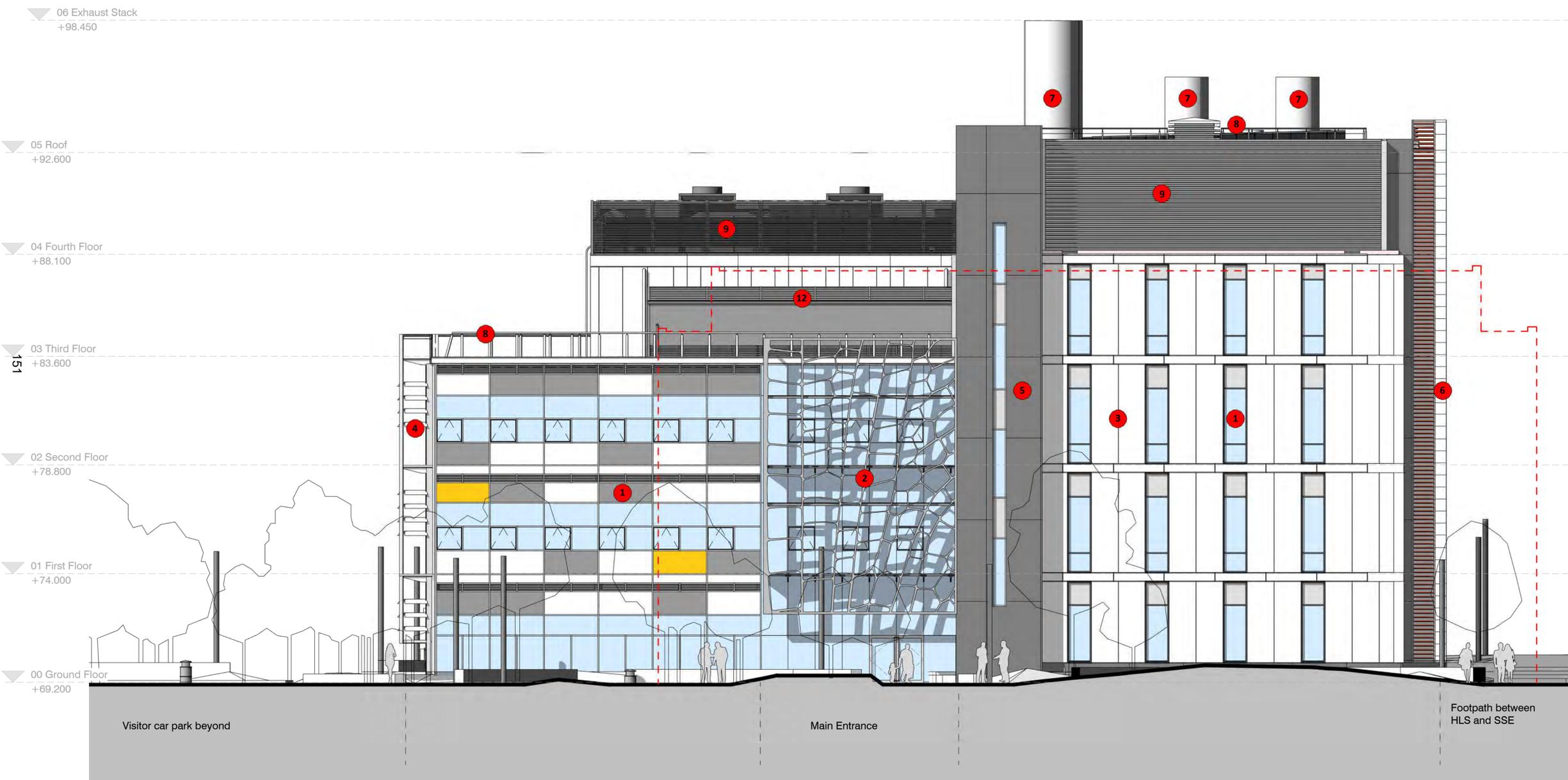
PROJECT
Health & Life Sciences
University of Reading
Whiteknights Campus
Reading
Berkshire RG6 6AH

DRAWING TITLE
Proposed West Elevation

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1459939-STL-00-ZZ-DR-A-ZZZZ-03003	PL02

1 West Elevation (facing Systems Engineering Building)
1 : 100

KEY	
1	Capped curtain walling with glass, PPC cladding and louvre panels where required
2	Capless curtain walling with feature entrance overclad
3	Prefabricated modular facade system, PPC, smooth profile
4	Proprietary brise soleil system with external gantry/access ways
5	Pre-cast concrete cladding
6	Profiled metal cladding, PPC
7	Exhaust chimneys from laboratory, metal clad
8	Roof edge rail system
9	Louvre panel screen wall to plant, PPC
10	Louvre panelled door, PPC
11	Penthouse louvre above plant room
12	Rooflight
- - - Existing Building to be demolished	



1 North Elevation (Facing Food Science Building)
1:100

STATUS	REV	DATE	DESCRIPTION	REVISOR
PL	PL02	17.11.16	Planning Issue	SHONA HOLLAND
PL	PL01	14.11.16	Planning First Issue	DANNY HARRIS

CLIENT: University of Reading
ORIGINATOR NO: 32443

PROJECT TEAM
AECOM **WSP** **PARSONS BRINCKERHOFF**
STRIDE TREGLOWN
 CONSULTANT

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PROJECT
 Health & Life Sciences
 University of Reading
 Whiteknights Campus
 Reading
 Berkshire RG6 6AH

DRAWING TITLE
 Proposed North Elevation

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1459939-STL-00-ZZ-DR-A-ZZZZ-03000	PL02



Legend

- - - Site Planning Boundary
- Soft Landscape**
 - Existing trees to be retained**
Refer to the following drawing for details:
1459939-STL-XX-00-DR-L-6020-01010_Tree Removal and Retention Plan
 - Proposed trees**
Refer to the following drawing for details:
1459939-STL-XX-00-DR-L-6020-01040_Soft Planting Plan and Planting Schedule
 - Proposed hedgerow**
Refer to the following drawing for details:
1459939-STL-XX-00-DR-L-6020-01040_Soft Planting Plan and Planting Schedule
 - Proposed shrub planting**
Refer to the following drawing for details:
1459939-STL-XX-00-DR-L-6020-01040_Soft Planting Plan and Planting Schedule
 - Proposed amenity grass**
Refer to the following drawing for details:
1459939-STL-XX-00-DR-L-6020-01040_Soft Planting Plan and Planting Schedule
 - Proposed meadow seeding mix and woodland edge**
Refer to the following drawing for details:
1459939-STL-XX-00-DR-L-6020-01040_Soft Planting Plan and Planting Schedule
- Hard Landscape**
 - Proposed kerbs**
Precast concrete kerbs 300mm & 500mm wide
 - Proposed flag paving**
with contrasting precast concrete banding
block size: 200 x 600 x 80mm
 - Pebble Material - Loose**
Cobbles max size 120mm in any one direction
 - Asphalt surface**
 - Feature Seating**
 - Dry stone wall 1.2m high**
 - Cycle stands**
 - Light columns**
Locations to be confirmed
 - Beehives**
Locations to be confirmed
 - Existing Kerb Line**
- Levels**
 - +65.34Ex Existing levels
 - +69.40 Proposed levels

Refer to the following drawings and report for accompanying information:
1459939-STL-XX-00-DR-L-6020-01010_Tree Removal and Retention Plan
1459939-STL-XX-00-DR-L-6020-01040_Soft Planting Plan and Planting Schedule
1459939-STL-XX-00-RP-L-9075-RP001_UoR Life Science Building - Supplemental Landscape Planning Information Report
which includes landscape materials information and outline soft landscape specification

PL	PL08	25/11/2016	Planning Issue
PL	PL07	18/11/2016	Planning Issue
PL	PL06	11/11/2016	Revised Secure Service Yard
PL	PL04	25/10/2016	Amended trees position in accordance with received comments
PL	PL03	14/10/2016	Amended levels inclusion of external seating area
S2	P02	26/09/2016	Site Landscape updated with changes in planting, hard landscape routes, Entrances updated to Arcorn tracking plan
PL	PL02	13/09/2016	Amended landscape design reduction to extent of hard surfaces reinstate car parking
PL	PL01	26/08/2016	Planning Issue

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				Elena Dalla Torre
				Checked by David King
				ORIGINATOR NO 32443

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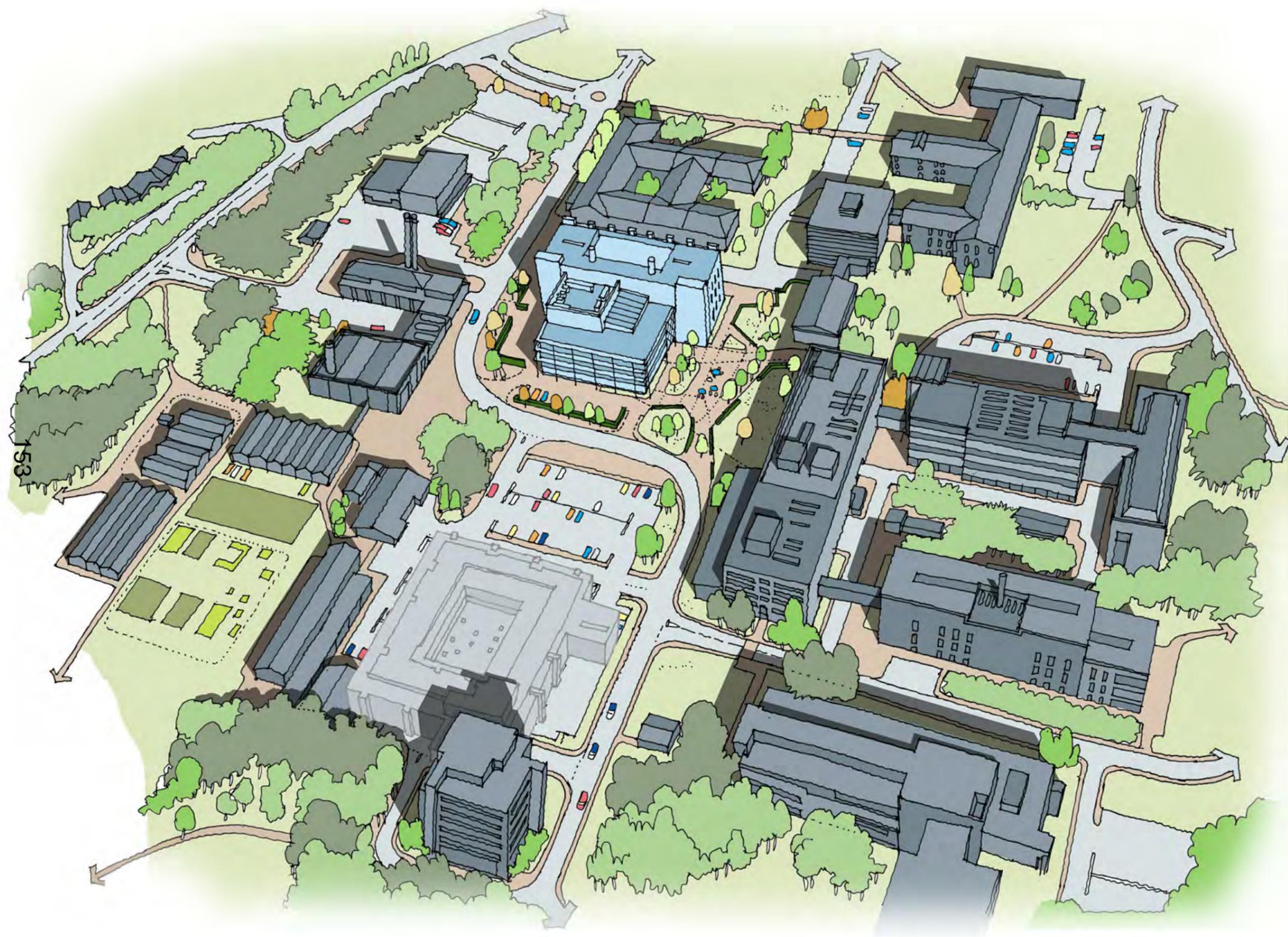
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PROJECT

Health & Life Sciences
University of Reading

- Note:**
- Main contractor to determine exact location of services/drainage, this should be confirmed on site prior to commencement of works to avoid tree pit / services conflicts
 - For external lighting details refer to M&E Engineers drawings and specifications.
 - For drainage details refer to Civil Engineers drawings and specifications.
 - All soil is subject to detailed testing and analysis and will be in accordance with the soft landscape specifications
 - All treatment of softwork areas to comply to BS4428 Code of Practice for general landscape operations.
 - All shrub & hedge species plant type supplied for designated areas are to be determined by the proposed planting season. (ie bareroot or container grown stock).

DRAWING TITLE		SCALE
GA Landscape Plan		1 : 200 @ A1
SUITABILITY STATUS		
S2 : SUITABLE FOR INFORMATION		
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION	
1459939-STL-XX-00-DR-L-6020-01001	PL08	



PL	PL02	17.11.16	Planning Issue
PL	PL01	14.11.16	Planning First Issue

STATUS	REV	DATE	DESCRIPTION
CLIENT			



REVISED BY
LEE GODDARD
 CHECKED BY
DANNY HARRIS
 ORIGINATOR NO
32443

CONSULTANT

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PROJECT
 Health & Life Sciences
 University of Reading
 Whiteknights Campus
 Reading
 Berkshire RG6 6AH

DRAWING TITLE
Birdseye

SUITABILITY STATUS PL : PLANNING	SCALE @ A3
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PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER 1459939-STL-00-ZZ-DR-A-6095-08003	REVISION PL02
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FROM: Graham Vaughan Telephone: 0118 974 6694

DATE: 05 January 2017

EARLEY TOWN COUNCIL PARISH CONSULTATION SHEET

Application Number: 163315

Proposal: Full application for the erection of a 5 storey Health and Lifesciences Building; new entrance and external works to Philip Lyle Building; associated landscaping and car parking; following demolition of the Engineering and Harborne Building within the Whiteknights Campus of the University of Reading. .

Site Address: Engineering Building, University Of Reading, Reading, Shinfield Road, RG6 6UR.

Applicant: -.

Your observations are required in respect of this application **by 01/02/2017**.

Please send comments by Email to: planning.enquiries@wokingham.gov.uk

Councillors expressed concern with the reduced level of parking provided, also any increase in student numbers and related parking.

Councillors considered that the building was not architecturally challenging, compared to other recent building work at the University.

For these reasons it was requested that the application be refused.

SIGNED: _____ DATE: 10-1-17

Clerk To Earley Town Council Parish/Town Council.

CASE OFFICER	
PLANNING	
13 JAN 2017	
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REPLIED	

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